

April 18, 2024

Bid Addendum Two

Project: **Tulip New Utilities Building**
Project No. Tulalip Tribes Project No. 2021-003

Date of Issuance: April 18, 2024

This addendum to bid materials issued to Tulalip Tribes Request for Proposal and to Builders' Exchange of Washinton on March 21, 2024, for bids due no later than 3:00PM on April 23, 2024, per instructions in the original Notice To Bidders.

The addendum includes the following materials (Actual file names used):

1. REV BID PROPOSAL FORM.pdf
2. Spec Section 012113REV CASH ALLOWANCES.pdf
3. A21-188_New Utilities Building_BID ADDENDUM 2 ARCH SHEETS.pdf
 - A0.01 – revisions to Responsibility Matrix and Deferred Submittals
 - A3.07 – revisions to lab casework (rev to 30" counter depth), Equipment Schedule (addition of towel dispenser) and dtl bugs
 - A4.01 Changes to lab casework and keynotes
 - A4.02 – addition of notes to lab casework.
 - A4.11 – change to light fixtures and clarification of washer and dryer as owner provided, owner-installed.
 - A6.04 – addition of typical lab casework section, dtl. 11
 - A7.00 - Adjustment to RCP to agree with electrical
 - A7.01 - Adjustment to RCP to agree with electrical
4. A21-188_New Utilities Building BID ADDENDUM 2 ELEC SHEETS.pdf
 - E1.0 – revised Legend for light fixtures
 - E4.0 – revised fixtures at elevator shaft, lobby, Janitor's Closet and Storage, revised lighting fixture schedule
 - E4.1 – revised lighting fixture schedule.
5. Bid Period RFIs 1 through 13 compiled.

Issued By:
Freiheit Architecture

Joel Riehl AIA NCAARB
Senior Architect

The Tulalip Tribes of Washington

BID PROPOSAL FORM

Project Name: Utility Building Date of Bid: _____

Location of Project: 3015 Mission Beach Road Tulalip, Washington 98271

COMPANY NAME OF BIDDER:

CERTIFIED NATIVE AMERICAN OWNED BUSINESS:

YES _____ If Yes, Percentage (%) of Indian Ownership: _____ **NO**

Having read and examined the Contract Documents, including without limitation the Drawings and Specifications, prepared by the Architect and the Tulalip Tribes of Washington for the above-referenced Project, and the following Addenda:

ADDENDA ACKNOWLEDGED (Enter Addenda Number and Date of Addenda below):

- 1. _____ 2. _____
- 3. _____ 4. _____

The undersigned Bidder proposes to perform all Work for the applicable Contract, in accordance with the Contract Documents, within 460 calendar days, for the following sum:

BASE BID AMOUNT \$ _____

TOTAL ALLOWANCES \$ _____ **5,500.00** ~~87,250.00~~

TERO TAX (1.75%) AMOUNT \$ _____

BASE BID PLUS TERO TAX \$ _____

(In Words):

Refer to Division 00, TERO Code for application of TERO and Taxes. Work within Tribal Reservation Boundary, Washington State Sales Tax Does Not Apply

TRENCH EXCAVATION SAFETY PROVISIONS: If contracted work contains any work that requires trenching exceeding a depth of four (4) feet, all costs for trench safety shall be included in the Base Bid amount for adequate trench safety systems in compliance with Chapter 39.04 RCW and WAC 296-155-650. The purpose of this provision is to ensure that the bidder agrees to comply with all the relevant trench safety requirements of Chapter 49.17 RCW. This bid amount shall be considered as part of the total Base Bid amount set forth above.

The following items shall also be considered in the review and award of this Contact. Bidder shall complete each section as applicable. By submission of this bid proposal, Bidder acknowledges their commitment to employ and or contract work to the parties identified below during the performance of Bidder’s awarded Work.

SECTION I – KEY EMPLOYEES OF BIDDER (if required, attach additional sheets if needed)

NAME	POSITION	PREFERRED EMPLOYEE	
		Yes	No
1.	1.		
2.	2.		
3.	3.		
4.	4.		
5.	5.		

SECTION II – PREFERRED “TRADE” EMPLOYEES (if required, attach additional sheets if needed)

NUMBER OF PREFERRED “TRADE” EMPLOYEES	NUMBER OF PREFERRED “TRADE” EMPLOYEES
1.	2.
3.	4.
5.	6.
7.	8.
9.	10.

SECTION III – PEAK WORK FORCE OF ALL EMPLOYEES ANTICIPATED TO BE EMPLOYED BY BIDDER AT THE PROJECT SITE IN THE PERFORMANCE OF THE WORK:

(Insert Number of Employees)

SECTION IV – LIST OF LOWER TIERED SUBCONTRACTOR(S) AND OR SUPPLIER(S)
 (Total of Sections IV.A and IV.B)

SECTION IV A – LIST OF TULALIP TRIBAL MEMBER NAOB SUBCONTRACTOR(S) AND OR SUPPLIER(S) (if required, attach additional sheets if needed)

NAME OF SUBCONTRACTOR (SUB) OR SUPPLIER (SUP)	TYPE OF WORK TO BE AWARDED	DOLLAR VALUE OF WORK	TYPE OF LOWER-TIER		TULALIP NAOB	
			SUB	SUP	Yes	No
1.	1.	\$				
2.	2.	\$				
2.	3.	\$				
4.	4.	\$				
5.	5.	\$				
6.	6.	\$				
7.	7.	\$				
8.	8.	\$				
9.	9.	\$				
10.	10.	\$				

SECTION IV B – LIST OF NAOB SUBCONTRACTOR(S) AND OR SUPPLIER(S) (if required, attach additional sheets if needed)

NAME OF SUBCONTRACTOR (SUB) OR SUPPLIER (SUP)	TYPE OF WORK TO BE AWARDED	DOLLAR VALUE OF WORK	TYPE OF LOWER-TIER		NAOB	
			SUB	SUP	Yes	No
1.	1.	\$				
2.	2.	\$				
3.	3.	\$				
4.	4.	\$				
5.	5.	\$				
6.	6.	\$				
7.	7.	\$				
8.	8.	\$				
9.	9.	\$				
10.	10.	\$				

SECTION IV C – LIST OF MAJOR SUBCONTRACTORS

(List each subcontractor whose Work comprises 10% or greater of the total Contract Price

NAME OF SUBCONTRACTOR	TYPE OF WORK TO BE AWARDED	DOLLAR VALUE OF WORK
1.	1.	\$
2.	2.	\$
3.	3.	\$
4.	4.	\$
5.	5.	\$
6.	6.	\$
7.	7.	\$
8.	8.	\$
9.	9.	\$
10.	10.	\$

Should Contractor fail to comply, to the fullest extent possible, with provisions for employment and or contracting as defined in The Tulalip Code, Chapter 9.05 – TERO Code, Contractor may be found to be in breach of Contract. If it is determined that a breach has occurred, Contractor acknowledges that said breach will be grounds to terminate Contractor’s Contract agreement without claim against The Tulalip Tribes of Washington or the Project for any additional compensation and or consideration.

SECTION V – BID EVALUATION DOCUMENTATION

On separate sheets, provide documentation to demonstrate Bidder’s ability to meet Bid Evaluation Criteria as listed in the Instructions to Bidders, Paragraph 3.4.3.

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**TULALIP TRIBES – UTILITY BUILDING
TULALIP, WASHINGTON
SECTION 012113 - CASH ALLOWANCES**

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Schedule of monetary amounts of allowances in Contract Sum for purchase and installation of designated products.
 - 2. Procedures for administration of Allowances.
- B. Related Sections:
 - 1. Document 007200 - General Conditions.
 - 2. 013300 - Submittal Procedures: Scheduling of allowances.
 - 3. Individual Specifications Sections Listed Under Schedule of Allowances: Specification of products and installation under Allowances.
- C. This Section supplements the General and Supplementary Conditions.

1.2 SCHEDULE OF ALLOWANCES

SCOPE OF WORK	ALLOWANCE
Hazardous Materials Testing and Abatement	\$ 43,750.00
Main Building Sign, externally lit	\$ 5,500.00
Window Blinds Shades	\$ 8,000.00
Storage Area ("Shed") Racking	\$ 30,000.00

1.3 COSTS INCLUDED IN ALLOWANCES

- A. Cost of product to Contractor or subcontractor, less applicable trade discounts.
- B. Delivery to site.
- C. Products handling at site, including unloading, uncrating, and storage.
- D. Protection of products from elements and from damage.
- E. Labor for installation and finishing.
- F. Other expenses required to complete installation.
- G. Contractor overhead and profit.

1.4 ARCHITECT RESPONSIBILITIES

- A. Consult with Contractor in consideration of products.
- B. Select products and transmit full information to Contractor:
 - 1. Manufacturer, product, model or catalog number, accessories, attachments, and finishes.
 - 2. Supplier and installer as applicable.
 - 3. Cost to Contractor for delivery to site, installation, finishing and protection during construction.

1.5 CONTRACTOR RESPONSIBILITIES

- A. Assist Architect in determining suppliers and installers; obtain proposals when requested.
- B. Make recommendations for Architect consideration.
- C. On notification of selection, execute purchase agreement with designated supplier and installer.
- D. Arrange for and process shop drawings, product data, and samples.
- E. Arrange for delivery. Promptly inspect products upon delivery for completeness, damage, and defects. Submit claims for transportation damage.

**TULALIP TRIBES – UTILITY BUILDING
TULALIP, WASHINGTON
SECTION 012113 - CASH ALLOWANCES**

- F. Install, adjust, and finish products.
- G. Provide warranties for products and installation.

1.6 CORRELATION WITH CONTRACTOR SUBMITTALS

- A. Schedule shop drawings, product data, samples, and delivery dates, in Progress Schedule for products selected under allowances.

1.7 ADJUSTMENT OF COSTS

- A. Should net cost of Allowances be more or less than specified amounts, the Contract Sum will be adjusted by Change Order, in accordance with provisions of Owner Contractor Agreement.

PART 2 - PRODUCTS

- A. Not Used

PART 3 - EXECUTION

- A. Not Used

END OF SECTION

GENERAL NOTES

CONSTRUCTION

- ALL CONSTRUCTION SHALL COMPLY WITH THE **2018 INTERNATIONAL BUILDING CODE** AS ADOPTED BY THE **WASHINGTON STATE**, STATE REGULATIONS FOR BARRIER FREE DESIGN, **WA STATE ENERGY CODE**, AND ALL APPLICABLE LOCAL CODES, ORDINANCES, AND STANDARDS. IN CASE OF ANY CONFLICT WHERE THE METHODS OR STANDARDS OF INSTALLATION OF THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. NOTIFY THE ARCHITECT OF ALL CONFLICTS.
- SECURE RELEVANT TRIBAL AND STATE APPROVALS RELATING TO FIRE, CONSTRUCTION, LABOR, HEALTH AND LICENSING. CONTRACTOR SHALL FURTHER POST ALL BONDS AND SECURE ALL INSURANCE REQUIRED BY LAW OR CONTRACT, FORWARDING PROOF OF SUCH ACTIONS TO THE OWNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- WORK NOT INCLUDED IN THIS CONTRACT SHALL BE MARKED "N.I.C." OR SPECIFICALLY ASSIGNED TO ANOTHER PARTY.
- CONTRACTOR SHALL VISIT THE SITE, REVIEW THE DRAWINGS AS SUBMITTED BY THE ARCHITECT, AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURERS LATEST RECOMMENDATIONS OR WRITTEN DIRECTIONS.
- WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
- WHERE DEVICES OR ITEMS OR PARTS THEREOF ARE REFERRED TO IN SINGULAR, IT IS INTENDED THAT SUCH SHALL APPLY TO AS MANY SUCH DEVICES, ITEMS OR PARTS AS ARE REQUIRED TO PROPERLY COMPLETE THE WORK.
- VERIFY ALL "BUILDING STANDARDS" WITH BUILDING OWNER PRIOR TO BEGINNING ANY WORK. HOWEVER, THERE SHALL BE NO DEVIATIONS WHATSOEVER FROM THE CONTRACT DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL. THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD THE ARCHITECT HARMLESS FROM ANY CLAIMS ARISING AS A RESULT OF UNAPPROVED CHANGES.
- LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THIS WORK.
- VERIFY AND CONFORM TO ALL REQUIREMENTS OF ALL UTILITY COMPANIES UNLESS OTHERWISE NOTED IN THE PLANS OR SPECIFICATIONS.
- ALL DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION AT ALL TIMES.
- PROTECT ADJACENT WORK AND REPAIR ANY DAMAGE AT CONTRACTOR'S OWN EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE BUILDING OWNER/ARCHITECT/ENGINEER HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY THE NEGLIGENCE OF THE CONTRACTOR, HIS AGENTS, EMPLOYEES, OR SUBCONTRACTORS.
- APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY ANY WORKERS. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION AS WELL AS ALL REVISIONS, ADDENDA, AND CHANGE ORDERS. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES WHICH ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
- MAINTAIN ALL EXIT PATHWAYS DURING CONSTRUCTION.
- PROVIDE COMPLETE SECURITY OF THE PREMISES WHILE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED.
- AT COMPLETION OF THE WORK, REMOVE ALL DEBRIS FROM THE SITE, LEAVING SPACE CLEAN, WASH ALL WINDOWS AND GLASS, POLISH ALL HARDWARE AND FIXTURES.
- MINIMIZE DISRUPTIONS TO ADJACENT FACILITIES DUE TO NOISE, ODOOR, FUMES, OR VIBRATION. AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL COMPLETELY CLEAN ALL AREAS SOILED BY CONSTRUCTION ACTIVITIES INCLUDING THOSE IN WHICH NO WORK WAS DONE.
- LATHING, PLASTER, AND GYPSUM WALL BOARD SYSTEMS SHALL CONFORM TO CHAPTER 25 OF THE **2018 I.B.C.**
- ALL GLASS AND GLAZING SHALL COMPLY WITH CHAPTER 24 OF THE **2018 I.B.C.** AND THE U.S. PRODUCT SAFETY COMMISSION: SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS (42 FR 1426; 16 CFR PART 1201).
- VERIFY ALL DOOR AND WINDOW ROUGH OPENING DIMENSIONS WITH DOOR AND WINDOW MANUFACTURERS.
- DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONSTRUCTION DRAWING SHOULD BE CALLED TO THE ATTENTION OF THE ARCHITECT.
- CONSTRUCT WALLS PLUMB AND SQUARE.
- COORDINATION: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND COORDINATION OF THE WORK OF ALL TRADES TO ASSURE COMPLIANCE WITH THE DRAWINGS.
- ANY DEVIATIONS FROM DIMENSIONED LOCATIONS MUST BE APPROVED BY THE ARCHITECT.

DIMENSION

- ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE WORK.
- DIMENSIONS OF PLANS ARE TYPICAL TO THE CENTERLINE OF COLUMNS AND FINISHED G/WB FACE OF PARTITIONS, UNLESS NOTED OTHERWISE. DOOR AND CASED OPENINGS WITHOUT LOCATION DIMENSIONS ARE TO BE FOUR (4) INCHES FROM THE FACE OF THE ADJACENT PARTITION OR CENTERED BETWEEN PARTITIONS.3. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE ARCHITECT IF DISCREPANCIES ARE FOUND.

CONSTRUCTION

- INVESTIGATE AND VERIFY LOCATIONS OF EXISTING STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL ELEMENTS AND OTHER EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- COORDINATE CONSTRUCTION SCHEDULING WITH THE BUILDING OWNER TO ALLOW ONGOING OPERATION OF THE FACILITY DURING CONSTRUCTION.
- PROVIDE BLOCKING AS REQUIRED FOR WALL AND CEILING MOUNTED ITEMS.
- OFFSET STUDS WHERE REQUIRED SO THAT FINISH WALL SURFACES WILL BE FLUSH.
- PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR METALS.
- ALL DEMOLISHED MATERIALS TO BE RECYCLED TO AN APPROVED RECYCLER.

PLUMBING, MECHANICAL & ELECTRICAL

- PLUMBING, MECHANICAL, & ELECTRICAL DRAWINGS ARE TO BE SUBMITTED UNDER SEPARATE PERMIT.
- MECHANICAL & ELECTRICAL CONTRACTORS SHALL BE RESPONSIBLE TO MAINTAIN COMPLIANCE WITH APPLICABLE CODES AND STANDARDS AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE REQUIRED PERMITS FOR WORK. THE PROPOSED SYSTEM DESIGN & METHOD OF OPERATION FOR ALL ROOMS SHALL BE REVIEWED AND APPROVED BY THE TENANT PRIOR TO THE START OF ANY WORK.
- OWNER, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE PROTECTION DRAWINGS ARE SUPPLEMENTARY TO THESE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL DISCREPANCIES BETWEEN THE CONSULTANTS' DRAWINGS WITH A WRITTEN REQUEST FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO THE BUILDING OWNER, TENANT, OR ARCHITECT.
- ALL CABLING AND WIRING NOT IN CONDUITS OR FULL SURROUND CABLE TRAYS SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DEVELOPMENT RANGE OF LESS THAN 50.
- ALL EXPOSED MATERIAL & PIPING IN RETURN AIR PLENUM MUST MEET FS 25.
- ALL PLUMBING AND HVAC PIPE AND DUCTWORK IN PLENUM SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DEVELOPMENT RANGE OF LESS THAN 50

SUBMITTALS AND WARRANTY

- SUBMIT A LIST OF PROPOSED PRODUCT SUBMITTALS AND SHOP DRAWINGS TO THE OWNER FOR APPROVAL PRIOR TO START OF CONSTRUCTION.
- ALL PRODUCTS AND MATERIALS SPECIFIED IN THE DRAWINGS (WITH EXCEPTION TO SPECIFIC FINISH COLORS AND FLOORING) ARE INTENDED TO BE ON AN "OR EQUAL" BASIS. ANY PROPOSED SUBSTITUTIONS MUST BE SUBMITTED TO THE ARCHITECT IN WRITING FOR APPROVAL WITHOUT DELAY OF SCHEDULE.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION, UNLESS OTHERWISE SPECIFIED, AND SHALL BE SO STATED IN CONTRACTOR'S WRITTEN PROPOSAL AND AGREEMENT. ALL REPAIRS, CORRECTIONS, DISCREPANCIES, ETC., MUST BE MADE WITHOUT ANY ADDITIONAL COST TO THE OWNER, AND WITHIN FIVE (5) DAYS AFTER NOTICE IS GIVEN.

FIRE PROTECTION

- FIRE PROTECTION DRAWINGS ARE TO BE SUBMITTED UNDER SEPARATE PERMIT.
- IF NECESSARY, PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE RELATED ELEMENTS AS REQUIRED BY CODE.
- FIRE EXTINGUISHERS: VERIFY LOCATION, TYPE, AND SIZE PER FIRE MARSHAL REQUIREMENTS. CONTRACTOR TO PROVIDE ALL TEMPORARY AND PERMANENT FIRE EXTINGUISHERS REQUIRED UNDER N.F.P.A. 10 MOST RECENT EDITION AND APPROVED BY THE FIRE MARSHAL. CONFIRM ACCEPTABILITY OF LOCATION WITH FIRE MARSHAL PRIOR TO INSTALLATION. PROVIDE FINISHED CABINETS TO MATCH BUILDING STANDARD FOR EXTINGUISHERS AT ALL EXPOSED LOCATIONS.
- FIRE EXTINGUISHERS AND CABINETS SHOULD BE LOCATED SO THAT THE TOP OF THE EXTINGUISHER OR CABINET IS NO HIGHER THAN 48" AFF AND THE TOP OF THE EXTINGUISHER OR CABINET HANDLE IS AT LEAST 36" AFF.
- PROVIDE AND INSTALL FIRE EXTINGUISHER SIGNAGE (5"x8") ABOVE EACH FIRE EXTINGUISHER OR CABINET WITHIN THE SCOPE OF THE TENANT IMPROVEMENT. MOUNT AT 64" AFF UNLESS OTHERWISE REQUIRED.
- EXIT SIGNS AND EXIT ILLUMINATION SHALL CONFORM TO THE **2018 IBC** AND **THE TULALIP TRIBES FIRE MARSHAL** REQUIREMENTS. CONTRACTOR TO PROVIDE AND INSTALL EMERGENCY LIGHTING AND EXIT LIGHTING AS REQUIRED BY THE **CODE BUILDING DEPARTMENTS**. CONFIRM ACCEPTABILITY OF LOCATIONS WITH THE BUILDING OWNER BEFORE INSTALLATION. CONTRACTOR SHALL PROVIDE AND INSTALL AUDIBLE ALARMS IN ACCORDANCE WITH IBC ARTICLE 9. CONTRACTOR SHALL PROVIDE AND INSTALL VISIBLE ALARM SIGNALS AS REQUIRED BY ADA GUIDELINES. CONTRACTOR SHALL PROVIDE AND INSTALL ALL SMOKE DETECTORS AND SMOKE DETECTION AS REQUIRED UNDER ARTICLE 9 OF THE IBC. THE INSTALLATION OF THE ABOVE NOTED SYSTEM SHALL INCLUDE THE CONNECTION TO AND/OR MODIFICATION OF THE EXISTING BUILDING SYSTEMS, AS NECESSARY.
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- FLAMMABLE LIQUIDS SHALL NOT BE PLACED, STORED, OR DISPENSED IN THIS OCCUPANCY EXCEPT AS PROVIDED IN NFPA STANDARD 30 AND THE **2018 INTERNATIONAL FIRE CODE**. PERMIT MAY BE REQUIRED.
- ALL DRAPES, HANGINGS, CURTAINS, AND ALL OTHER DECORATIVE MATERIAL, INCLUDING CHRISTMAS TREES THAT WOULD TEND TO INCREASE THE FIRE AND PANIC HAZARD SHALL BE MADE FROM NONFLAMMABLE MATERIAL, OR SHALL BE TREATED AND MAINTAINED IN A FIRE RETARDANT CONDITION BY MEANS OF A FLAME RETARDANT SOLUTION OR PROCESS APPROVED BY THE FIRE MARSHAL. PROVIDE A CERTIFICATION TO THIS EFFECT. EXIT DOORS, EXIT LIGHTS, AND FIRE EXTINGUISHER LOCATIONS SHALL NOT BE CONCEALED OR OBSTRUCTED BY ANY DECORATIVE MATERIAL. MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISHES SHALL BE PER **TABLE 803.9, SECTION 803.1 OF THE 2018 IBC**.
- ALL REQUIRED FIRE DOORS SHALL BEAR A LABEL FROM A RECOGNIZED AGENCY SHOWING THE SPECIFIC RATING.

CEILING

- REFLECTED CEILING PLAN IS FOR THE GENERAL INFORMATION OF THE CONTRACTOR. EXACT LOCATIONS SHOULD BE VERIFIED.

DOOR

- ALL DOOR HARDWARE TO MEET REQUIREMENTS OF **2018 IBC** AND OWNER'S BUILDING REQUIREMENTS.
- COORDINATE ALL KEYING REQUIREMENTS WITH OWNER. CONTRACTOR SHALL PROVIDE ALL LOCKSET CYLINDERS TO MATCH OWNER STANDARD. CONTRACTOR SHALL RE-KEY ALL DOORS TO MEET TENANT AND OWNER'S REQUIREMENTS.

FINISH AND MATERIALS

- SUBMIT FINISH SAMPLES TO TENANT AND OWNER FOR APPROVAL PRIOR TO ORDERING MATERIALS.
- INTERSECTION OF SCHEDULED FLOORING MATERIALS ARE TO OCCUR AT CENTERLINE OF DOOR WHEN IN A FULLY CLOSED POSITION UNLESS NOTED OTHERWISE.
- PROVIDE APPROPRIATE TRANSITION MATERIAL AS REQUIRED WHERE DISSIMILAR FLOORING MATERIALS INTERSECT.

RESPONSIBILITY MATRIX	OFOI	OFCI	CFOI	CFCI	REMARKS
Div. 2 - Existing Conditions - Demolition					
2.191 Demo Existing Maintenance Facility and Office				x	
2.191 Demo Existing Lab Building				x	
2.206 Demo Existing Paving at Perimeter				x	
2.212 Hazardous Materials Testing and Abatement				x	
Div. 6 - Finish Carpentry					
6.208 Lobby Reception Desk				x	
6.208 Billing Office back wall casework				x	
6.208 Paneling at Entry Lobby				x	
6.208 Breakroom upper and lower cabinets				x	
6.208 Copy Room Casework				x	
6.208 Lab storage casework				x	
6.208 Copy Room Casework				x	
6.208 Open Office Meeting area video wall casework				x	
Div. 10 Specialties					
10.000 Toilet, locker Room, and Janitor Closet Accessories				x	
10.260 Shower Curtains				x	
10.400 Identification Devices				x	
10.426 Main Building Sign				x	By Allowance
10.520 Fire Extinguishers and Cabinets				x	
10.580 Knox Box				x	
10.605 Roller Window Shades				x	
10.900 Lockers				x	
10.900 Toilet Partitions				x	
Div. 11 - Equipment					
11.000 Appliances (Kitchen and Janitor Closet)				x	
11.002 Lab Equipment Casework				x	
11.002 Lab Base and Wall Cabinets				x	
11.002 Lab Island				x	
11.002 Lab Storage Shelving				x	
Div. 13 - Special Construction, FF&E, Furniture, Artwork					
13.000 Misc. Office Furniture (chair, file cabinet, etc.)	x				
13.000 Lobby Furniture other than fixed reception desk	x				
13.000 Cubicle Systems	x				
13.000 Cubicle System Desks	x				
13.000 Private office desks, cabinets, and chairs	x				
13.000 Office Accessories (whiteboards, etc.)	x				
13.000 Conference Room Desk, chairs, and credenza	x				
13.000 Storage area ("Shed") racking	x				
13.000 Billing office furniture - except fixed back wall casework	x				
13.000 Kitchen Break Room tables, chairs, supplies	x				
13.000 Waste baskets, Floor Mats, desk lamps, etc.	x				
13.000 Misc. FF&E Allowance	x				
Div. 21 - Fire Suppression					
21.000 Fire Suppression				x	
Div. 22 - Plumbing					
22.001 Relocate Power Wash System				x	
22.001 Emergency Eye Wash and deluge shower				x	
Div. 26 - Electrical					
26.004 Emergency Generator - new and/or relocated				x	
26.005 Connections to Booster Pump				x	
Div. 27 - Communications					
27.001 - Connect data to Booster Pump	x				
27.001 - PLC Systems				x	
27.001 - PLC Network Switches	x				TDS Networks
27.001 - PLC Servers	x				TDS Networks
27.001 - Government Network switches/wifi	x				TDS Networks
27.001 - Government Network UPS	x				TDS Networks
27.001 - Data Room Network Rack	x				TDS Networks
27.001 - Conference Room AV equipment	x				TDS Networks
27.001 - Desktop Workstations/UPS, Printers, TVs	x				TDS Networks
27.001 - Copper and fiber cable	x				Salish Networks
27.001 - Cable TV equipment and cabling	x				Salish Networks
27.001 - Phones, Fax lines	x				Salish Networks
27.005 - Future Data Conduit				x	Salish Networks
27.001 - Systems Integration				x	Owner Preferred Vendors: TSI, Parametrix
Div. 28 - Electronic Safety and Security					
28.000 - Security	x				TDS Security
28.000 - Keyboxes, TimeClocks, Key Authorizers	x				TDS Security
28.000 - Door Controllers and associated wiring				x	TDS Security/ Salish Network Infrastructure
28.000 - Access Point Card Readers and associated wiring	x				TDS Security/ Salish Network Services
28.000 - Exterior Cameras	x				TDS Security
Div. 32 - Exterior Improvements					
32.004 - Site Fencing and Gates and modifications to				x	

PROJECT DATA

PROJECT ADDRESS: TULALIP TRIBES UTILITY BUILDING
3015 MISSION BEACH ROAD
TULALIP, WA, 98271

JURISDICTION: SNOHOMISH COUNTY

PARCEL NUMBER: 00616500600100 - 00616500601200

ZONING: TRIBAL

OCCUPANCY CLASSIFICATION: B - OFFICE

TYPE OF CONSTRUCTION: TYPE V-B

SPRINKLERED: NFPA 13

NUMBER OF STORES: 2

SQ. FT. OF BUILDING: 6,992 SQ.FT.

SQ. FT. OF IMPROVEMENT: 6,992 SQ.FT.

LEGAL DESCRIPTION

NE1/4 SEC34 T30N R4E

DESCRIPTION OF WORK

DEMOLITION OF EXISTING ADMINISTRATION AND LAB BUILDINGS. REPLACE BUILDING WITH NEW COMBINED FACILITY 40'X90'.

DEFERRED SUBMITTALS

- ENGINEERED ROOF TRUSS SHOP DRAWINGS.
- ENGINEERED FLOOR SYSTEM SHOP DRAWINGS.
- BUILDING SIGNAGE.
- VENDER DESIGN EXTERIOR STEEL STAIR, LANDING, AND CANOPY.
- STRUCTURAL DESIGN FOR WASHER SHED AND ASSOCIATED RETAINING WALLS.
- BUILDING TO BE SPRINKLERED PER NFPA 13.

APPLICABLE CODES

NATIONAL:
2018 INTERNATIONAL BUILDING CODE W/ WASHINGTON STATE AMENDMENTS (51-50 WAC)
2018 INTERNATIONAL FIRE CODE W/ WASHINGTON STATE AMENDMENTS (51-54 WAC)
2018 INTERNATIONAL MECHANICAL CODE W/ WASHINGTON STATE AMENDMENTS (51-52 WAC)
2018 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

REGIONAL:
2018 WASHINGTON STATE ENERGY CODE (51-11 WAC)
2018 WASHINGTON STATE ADMINISTRATIVE CODE (WAC)

LOCAL:
TULALIP TRIBES COMPREHENSIVE PLAN LAND USE

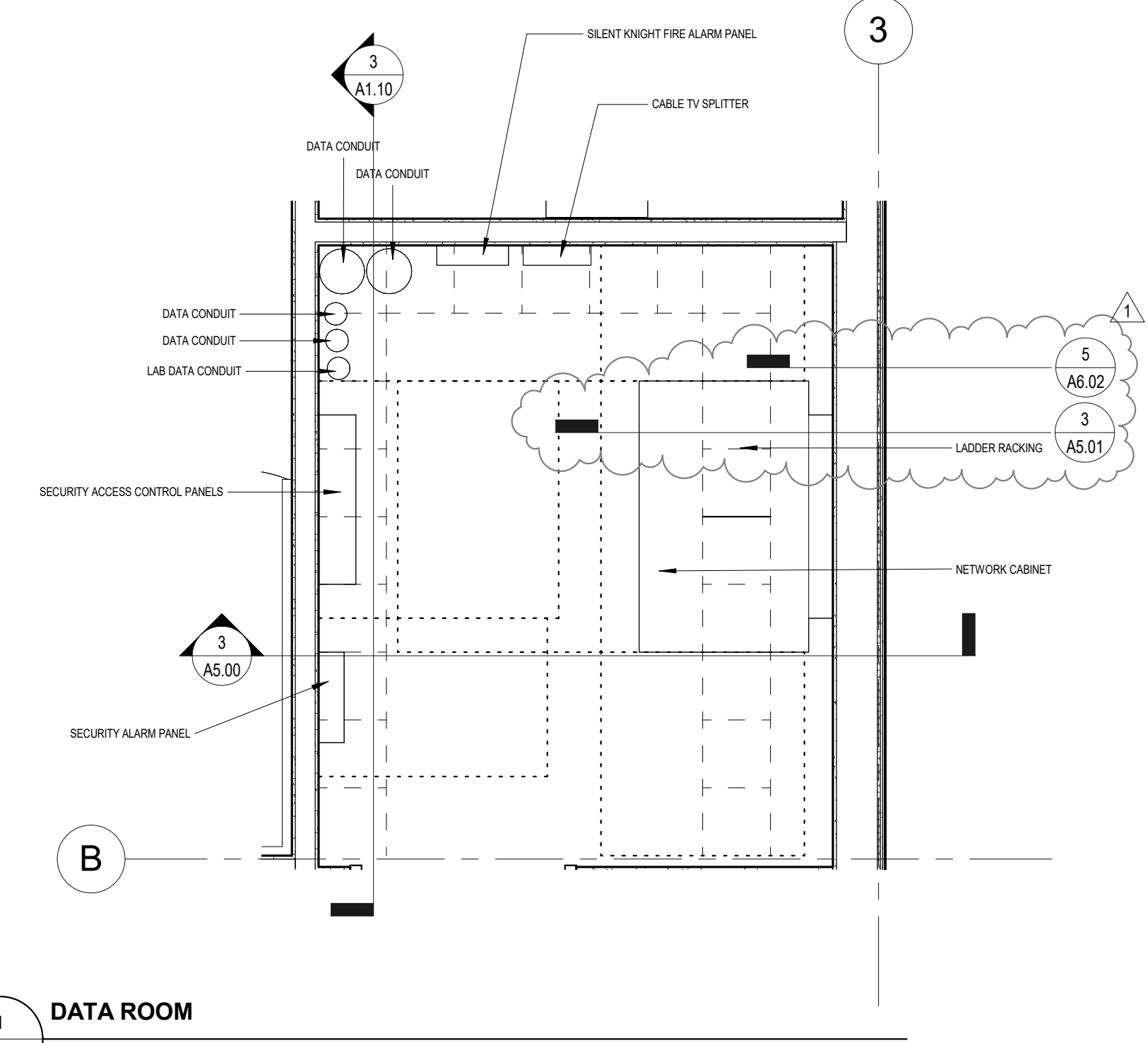
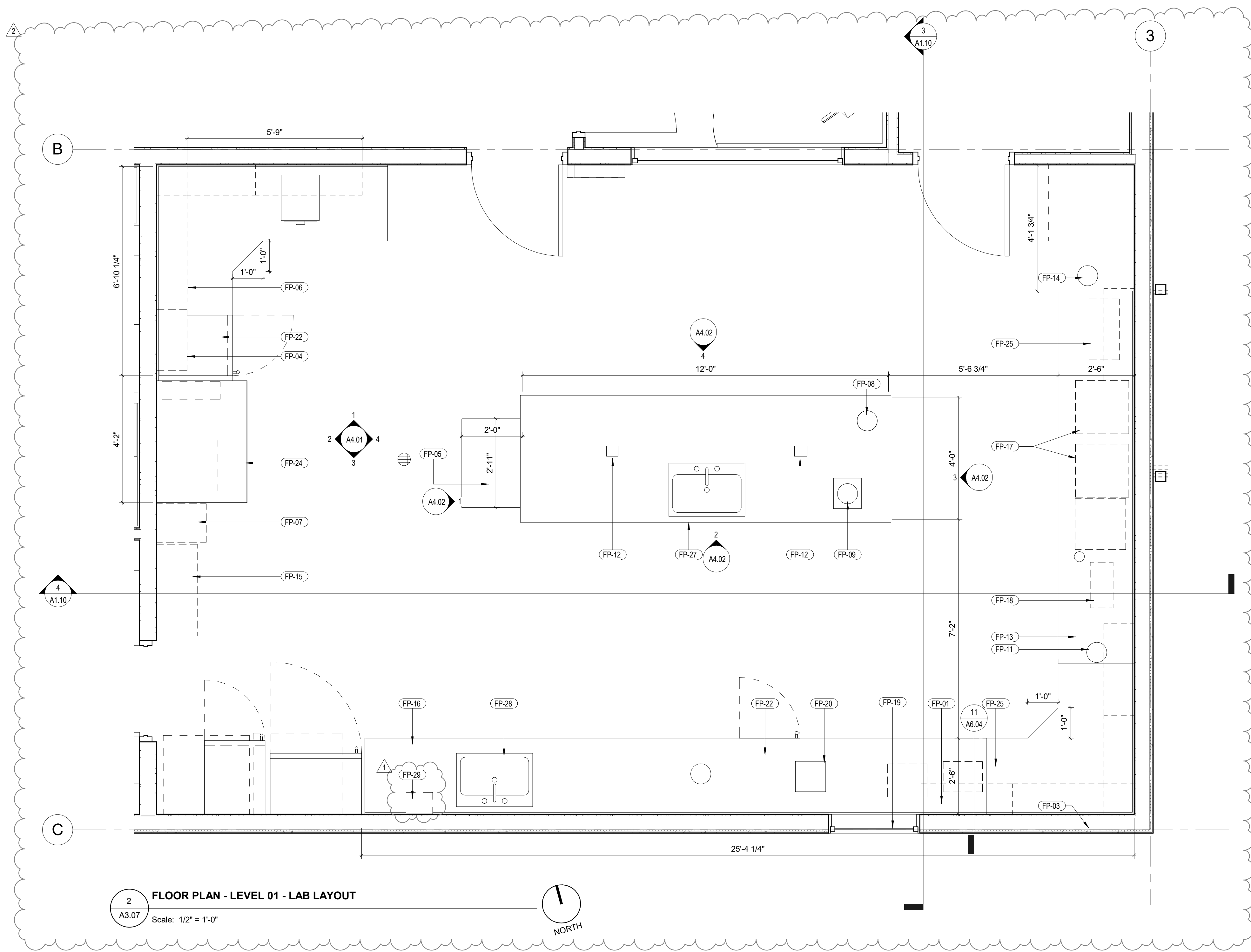
WSEC EFFICIENCY PACKAGE CREDITS - FROM TABLE C406.1:

- REDUCED LIGHTING POWER: OPTION 1 IN ACCORDANCE WITH SECTION C406.3.1
- DEDICATED OUTDOOR AIR SYSTEM IN ACCORDANCE WITH SECTION C406.6

VICINITY MAP



ISSUE LIST	
BID ISSUE	03/21/2024
1 BID ADDENDUM #1	04/16/2024
2 BID ADDENDUM #2	04/18/2024

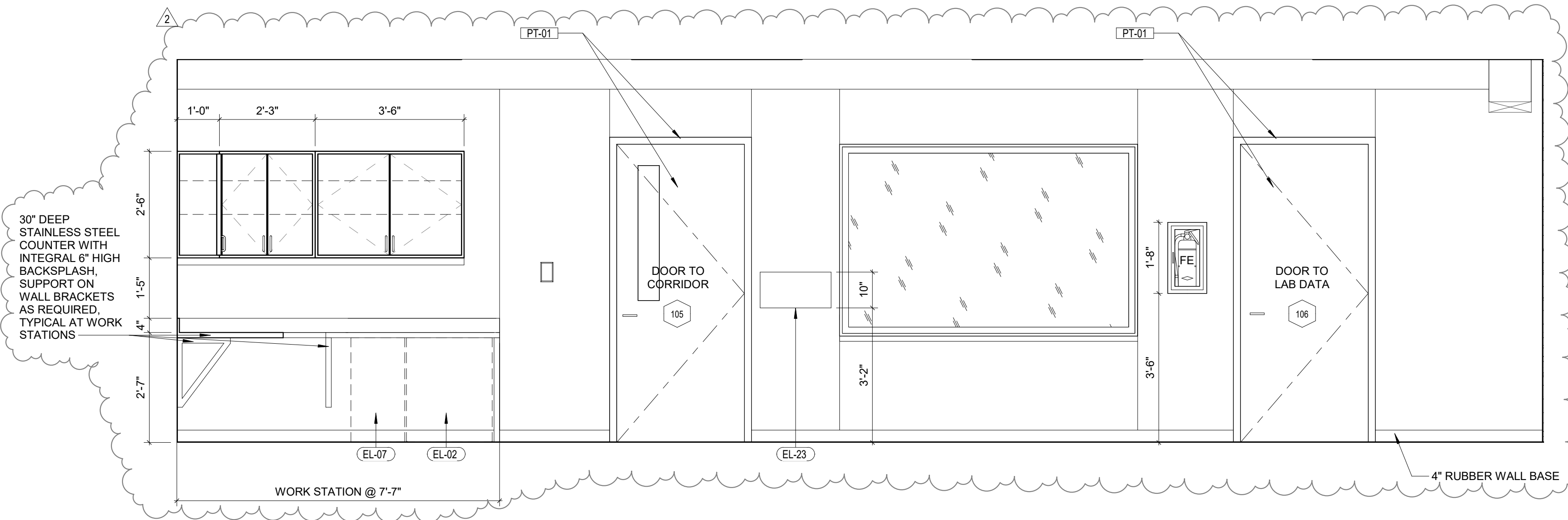


LAB EQUIPMENT SCHEDULE

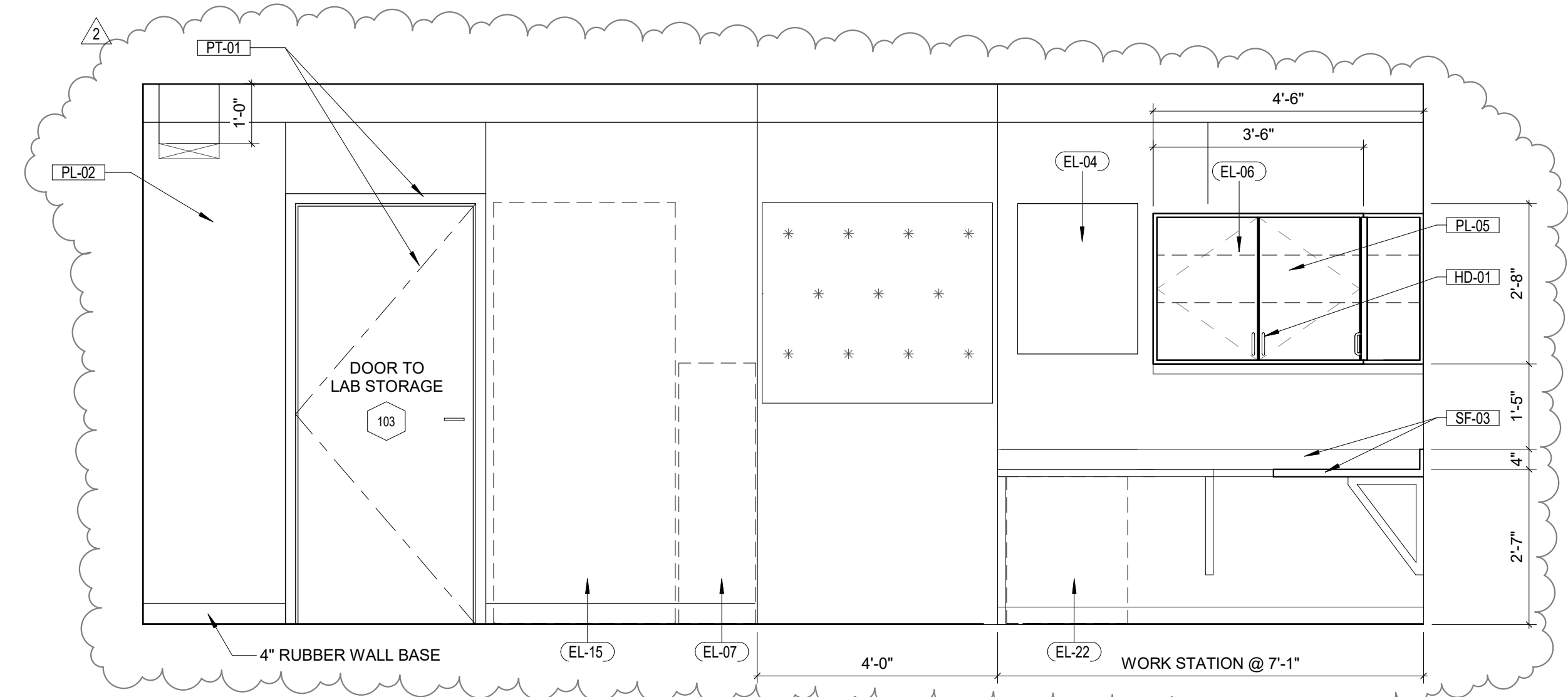
LAB EQUIPMENT SCHEDULE										
Mark	Description	Manufacturer	Model	Depth	Width	Height	Electrical	Mechanical	Comments	Responsibility
FP-01	2 DRAWER LEGAL FILE CABINET	VERIFY	VERIFY	18"	15"	34"	NA	NA	VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	OFOI
FP-02	LOCKABLE CABINETRY - UPPER AND LOWER	VERIFY	VERIFY	24"	24"	34 1/2"	NA	NA	VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	OFOI
FP-03	STAINLESS STEEL COUNTER W/ 6" BACKSPASH PROVIDED RAISED LEDGE, ALL SIDES. TYPICAL AT UPPER COUNTERS	VERIFY	VERIFY	24"	VARIABLES	VARIABLES	NA	NA	VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	CFCI
FP-04	FILE ORGANIZER WALL MOUNTED	VERIFY	VERIFY	12"	24"	30"	NA	NA	VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	CFCI
FP-05	SCALE STATION	VERIFY	VERIFY	12"	24"	-	NA	NA	VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	CFCI
FP-06	UPPER CABINET WITH UNDER CABINET LIGHTING, TYPICAL	VERIFY	VERIFY	12"	42"	30"	NA	NA	VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	CFCI
FP-07	4 DRAWER LEGAL FILE CABINET	VERIFY	VERIFY	18"	15"	52"	NA	NA	VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	OFOI
FP-08	TRASH HOLE WITH FLUSH EPOXY CENTER	VERIFY	VERIFY	8" DIA.	8" DIA.	-	NA	NA	VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	CFCI
FP-09	MICROSCOPE, ADJUSTABLE BASE	VERIFY	VERIFY	11"	12"	-	VERIFY	VERIFY	PROVIDED POWER AND DATA AT ISLAND. VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	OFOI
FP-10	(2) WALL MOUNTED TV MONITORS	VERIFY	VERIFY	4.5"	43.5"	24.5"	VERIFY	VERIFY	50" DIAGONAL. VERIFY PRODUCT AND REQUIREMENTS	OFOI
FP-11	STILL	THERMO SCIENTIFIC	MP-1	9 3/4"	18"	34"	120V / 9A	SEE PRODUCT REQUIREMENTS	SEE PLUMBING FOR ADJACENT WATER SUPPLY AND DRAIN LOCATIONS	OFOI
FP-12	SURFACE MOUNTED POWER OUTLETS SET ON 1/2" EPOXY BLOCKS TO MATCH OUTLET FOOTPRINT	VERIFY	VERIFY	4.5"	5"	-	VERIFY	VERIFY	TYPICAL AT ISLANDS. SEE ELECTRICAL. VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	CFCI
FP-13	CUP SINK	VERIFY	VERIFY	4"	4"	-	VERIFY	VERIFY	SEE PLUMBING. VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	CFCI
FP-14	DESSICATOR	NAUGENE	38000	-	-	-	NA	NA	FITS 230 mm DESICCATOR PLATE	OFOI
FP-15	FULL HEIGHT GLASSWARE STORAGE	VERIFY	VERIFY	16"	36"	84"	NA	NA	VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	OFOI
FP-16	GLASSWARE DISHWASHER	LABCONCO	STEAMSCRUBBER 4400330	27.4"	24.1"	34.1" - 36.1" ADJUSTABLE	115VAC, 60HZ, 16A	HOT AND PURIFIED WATER	VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	OFOI
FP-17	(2) TSS LAB OVEN	THERMO SCIENTIFIC	HERATHERM 51028112	22 1/4"	21"	28 1/2"	120V / 60HZ / 14.4A	NA	VERIFY PRODUCT AND REQUIREMENTS	OFOI
FP-18	AUTOClave	TUTTNAUER	2340M	20"	20"	15"	120V / 60HZ	NA	5 GALLON. VERIFY REQUIREMENTS	OFOI
FP-19	FECAL COLIFORM BATH	PRECISION	TSCOL19	12"	15 1/2"	7 3/4"	15230VAC, 50/60HZ	NA	VERIFY PRODUCT AND REQUIREMENTS	OFOI
FP-20	TURBIDIMETER	HACH	2100N (TL23)	-	-	-	VERIFY	NA	VERIFY PRODUCT	OFOI
FP-21	INCUBATOR REFRIGERATOR	PRECISION	815 BOO	31"	34"	77"	800W, 6.2A, 115VAC, 60HZ	NA	VERIFY ANY REQUIRED DATA CONNECTIONS	CFCI
FP-22	LAB REFRIGERATOR	VERIFY	VERIFY	32"	35"	70"	VERIFY	VERIFY	VERIFY SIZE AND CONNECTIONS	OFOI
FP-23	AED CABINET	VERIFY	VERIFY	5"	22 3/4"	22 3/4"	NA	NA	VERIFY PRODUCT, DIMENSIONS, AND REQUIREMENTS	OFOI
FP-24	FUME HOOD	LOC SCIENTIFIC	HP-804	35"	48"	89 1/4"	VERIFY	VERIFY	VERIFY PRODUCT AND REQUIREMENTS. SEE MECHANICAL	CFCI
FP-25	VACUUM PUMP	WELCH	92114	-	-	-	115VAC	NA	-	OFOI
FP-26	MUFFLE FURNACE	-	-	-	-	-	VERIFY	VERIFY	VERIFY PRODUCTS AND REQUIREMENTS	OFOI
FP-27	ISLAND SINK. FOOT PEDALS TO CONTROL	VERIFY	VERIFY	21"	30"	48" COUNTER HEIGHT	NA	VERIFY (HOT AND PURIFIED WATER)	-	CFCI
FP-28	SINK	VERIFY	VERIFY	21"	30"	48" COUNTER HEIGHT	NA	VERIFY (HOT AND PURIFIED WATER)	-	OFOI
FP-29	KIMBERLY-CLARK IN-SIGHT ELECT-R-MATIC HRT DISPENSER	KIMBERLY-CLARK	IN-SIGHT ELECT-R-MATIC HRT	8.8"	10.5"	15.8"	NA	NA	-	CFCI

ISSUE LIST

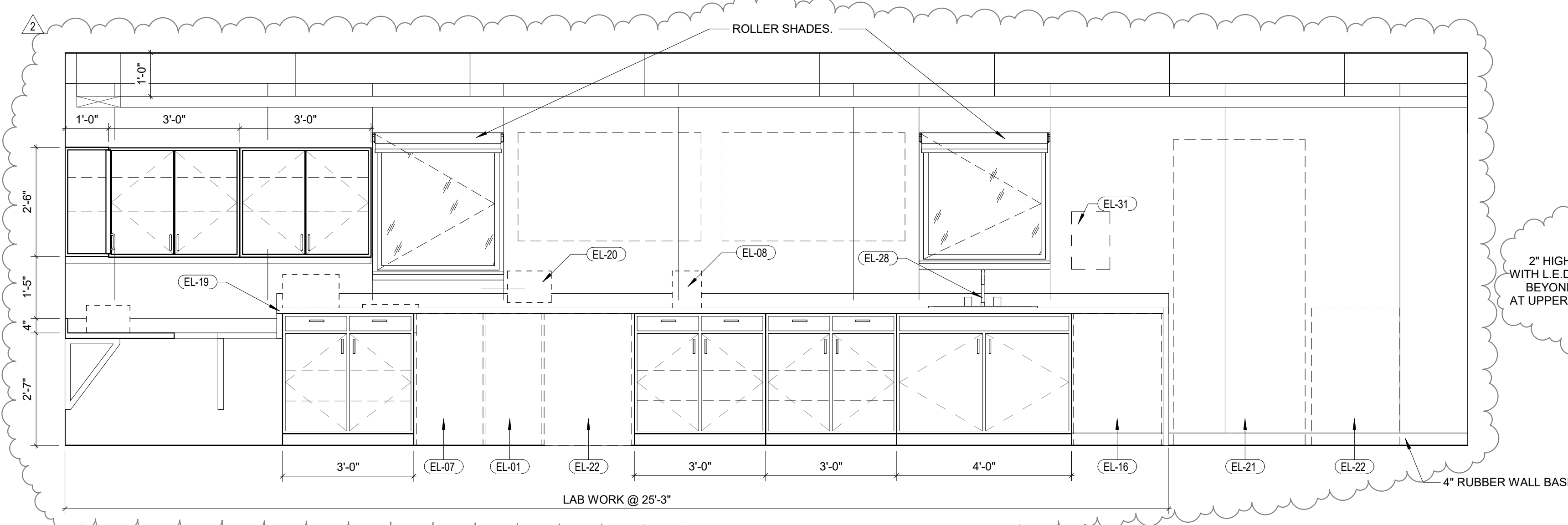
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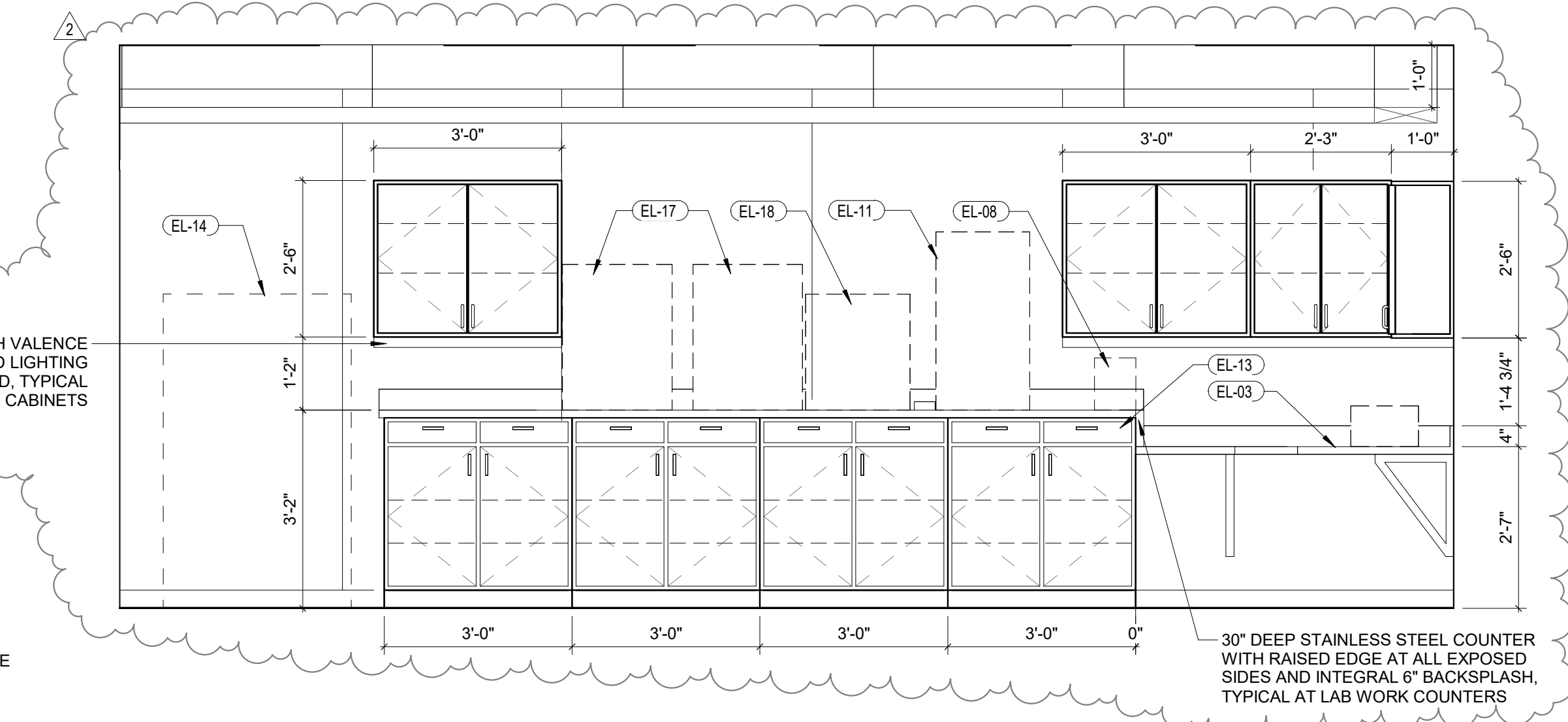
1 NORTH WALL
A4.01 Scale: 1/2" = 1'-0"



2 WEST WALL
A4.01 Scale: 1/2" = 1'-0"



3 SOUTH WALL
A4.01 Scale: 1/2" = 1'-0"



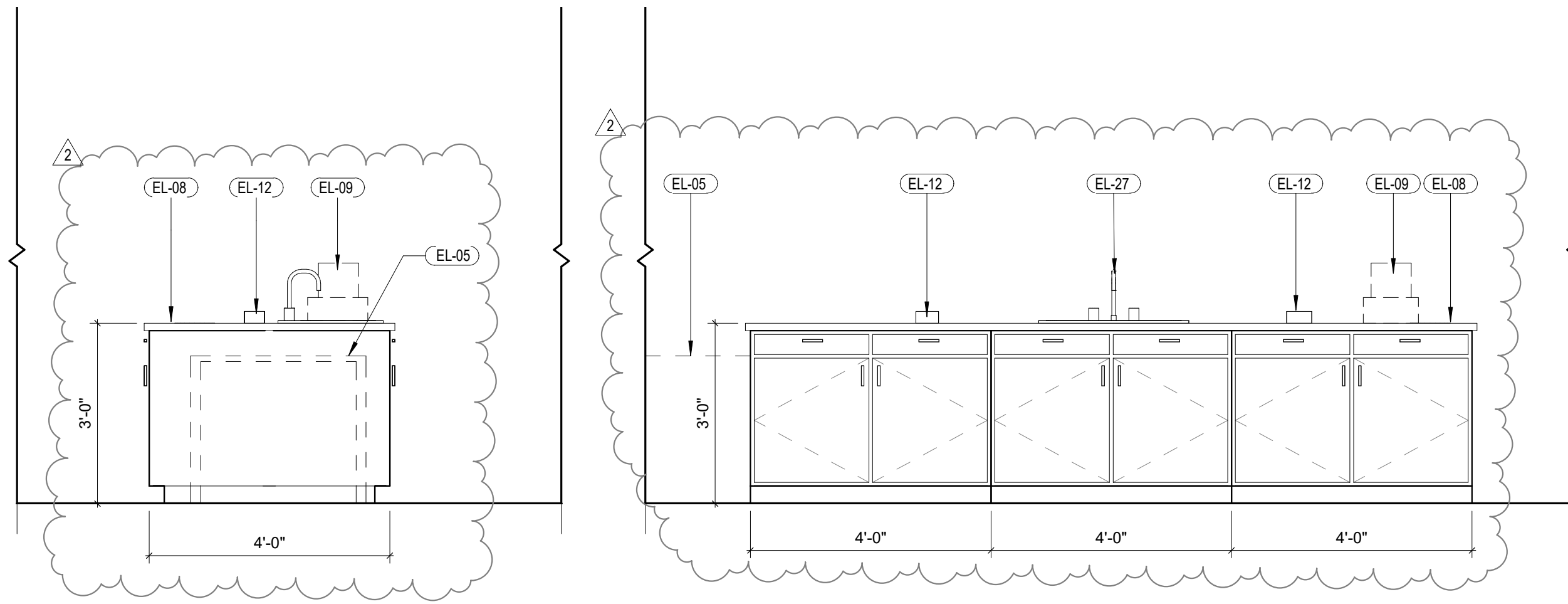
4 EAST WALL
A4.01 Scale: 1/2" = 1'-0"

KEYNOTES - LAB ELEVATION

- EL-01 2 DRAWER LEGAL FILE CABINET
- EL-02 LOCKABLE CABINETRY - UPPER AND LOWER
- EL-03 STAINLESS STEEL COUNTER WITH 6" BACKSPASH, PROVIDE RAISED EDGE, ALL SIDES, TYPICAL AT UPPER COUNTERS
- EL-04 FILE ORGANIZER WALL MOUNTED
- EL-05 SCALE STATION; 2'X2-11" EPOXY RESIN BALANCE TABLE
- EL-06 UPPER CABINET WITH UNDER CABINET LIGHTING, TYPICAL
- EL-07 4 DRAWER LEGAL FILE CABINET
- EL-08 8" DIA. TRASH HOLE WITH FLUSH EPOXY COVER
- EL-09 MICROSCOPE, PROVIDE POWER AND DATA AT ISLAND, ADJUSTABLE BASE
- EL-11 STILL, SEE PLUMBING FOR ADJACENT WATER SUPPLY AND DRAIN LOCATIONS
- EL-12 SURFACE MOUNTED POWER OUTLETS SET ON 1/2" EPOXY BLOCKS TO MATCH OUTLET FOOTPRINT, TYPICAL AT ISLANDS. SEE ELECTRICAL
- EL-13 CUP SINK, SEE PLUMBING
- EL-14 DESSICATOR
- EL-15 3' WIDE, 14" DEEP 14" DEEP FULL HEIGHT GLASSWARE STORAGE
- EL-16 GLASSWARE DISHWASHER
- EL-17 (2) TSS LAB OVEN THERMO SCIENTIFIC 22"X 21"
- EL-18 TUTTNAUER AUTOCLAVE
- EL-19 PRECISION FECAL COLIFORM BATH
- EL-20 TURBIDIMETER
- EL-21 INCUBATOR REFRIGERATOR
- EL-22 LAB REFRIDGERATOR
- EL-23 AED CABINET
- EL-25 VACUUM PUMP
- EL-27 ISLAND SINK, FOOT PEDALS TO CONTROL
- EL-28 SINK
- EL-31 KIMBERLY-CLARK IN-SIGHT ELECT-R-MATIC HRT DISPENSER.

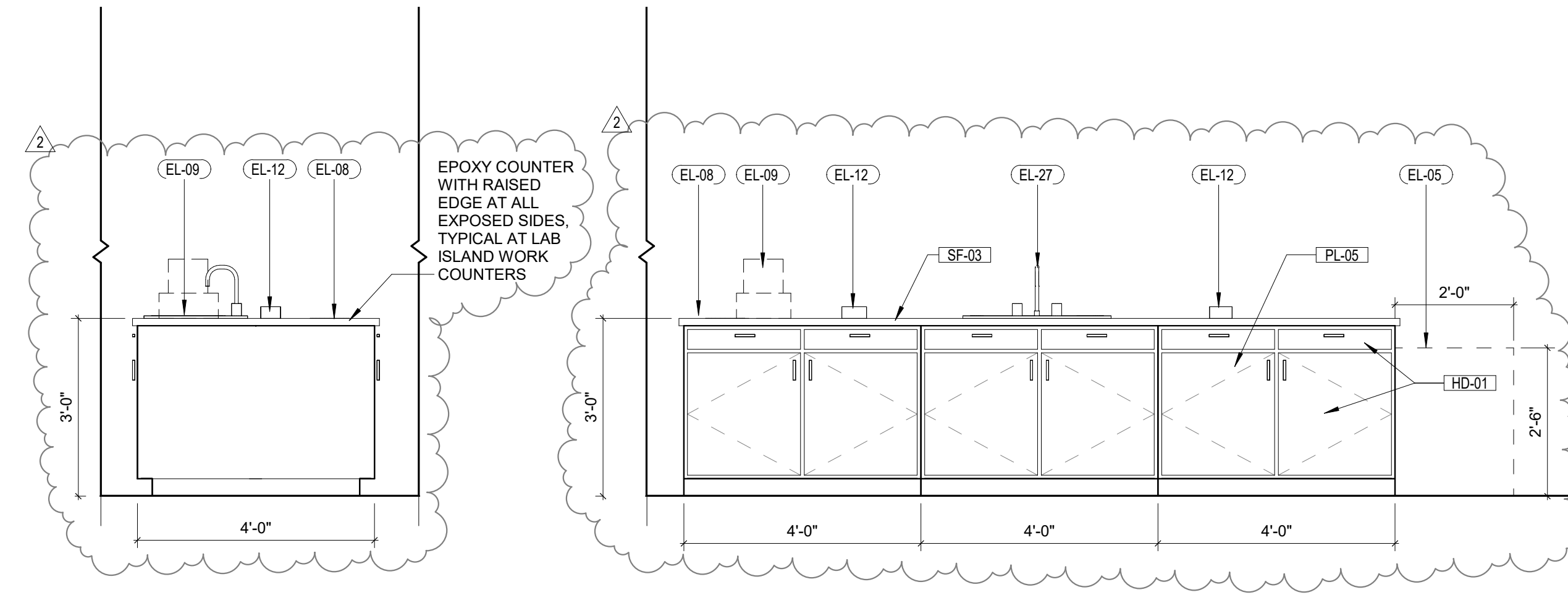
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1 LAB ISLAND WEST
A4.02 Scale: 1/2" = 1'-0"

2 LAB ISLAND SOUTH
A4.02 Scale: 1/2" = 1'-0"



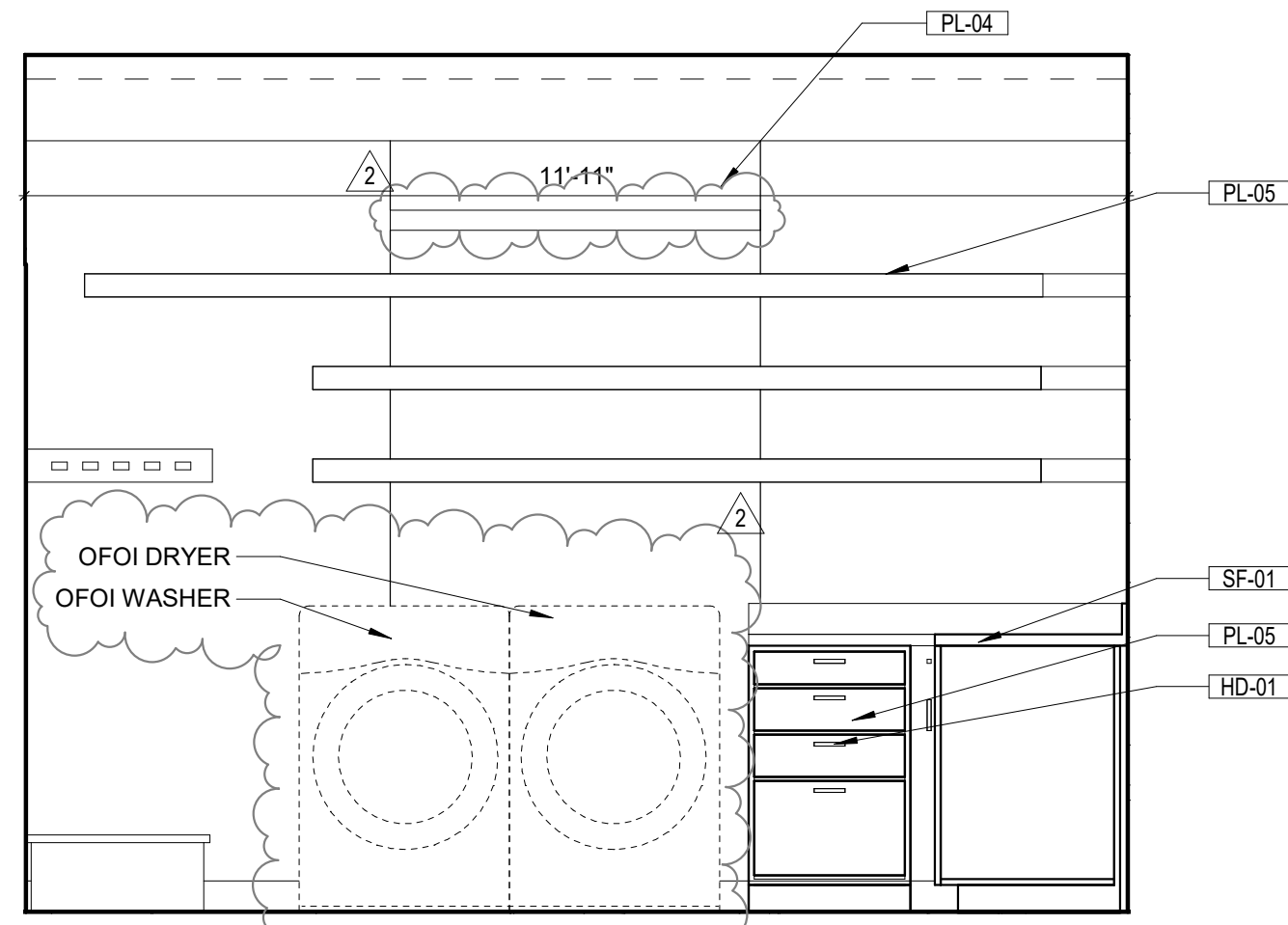
3 LAB ISLAND EAST
A4.02 Scale: 1/2" = 1'-0"

4 LAB ISLAND NORTH
A4.02 Scale: 1/2" = 1'-0"

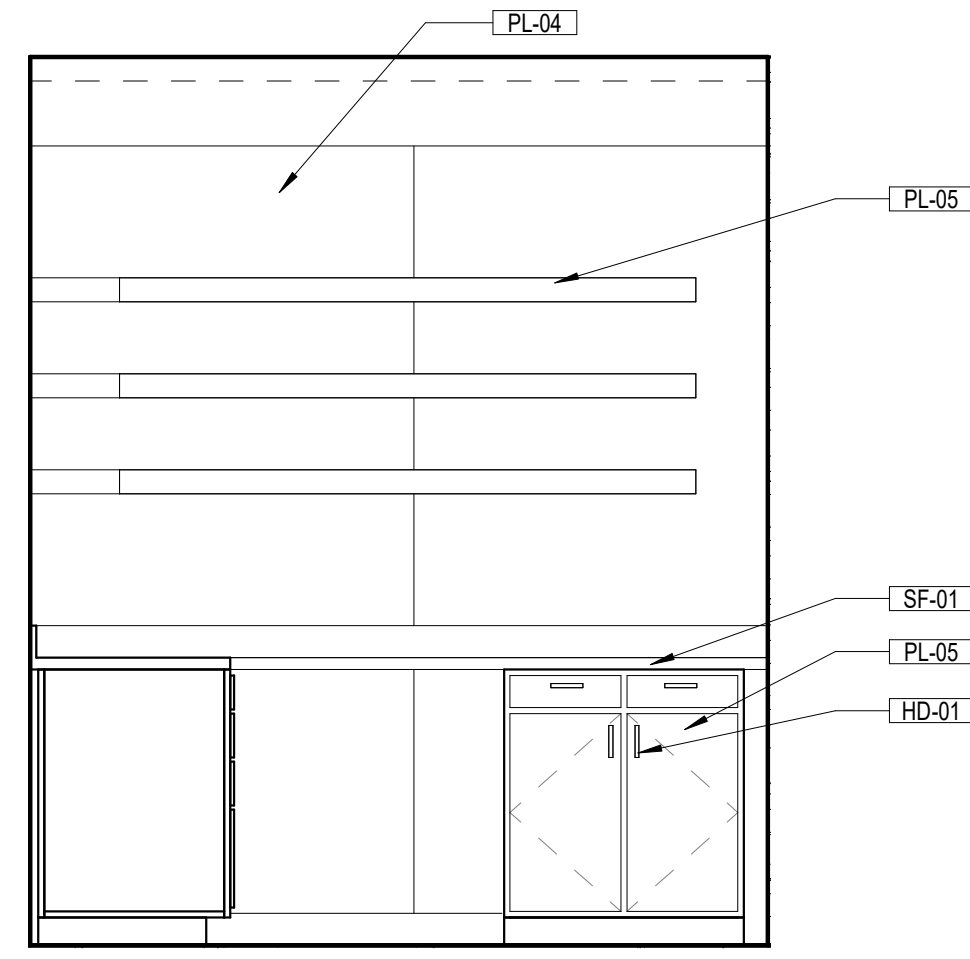
KEYNOTES - LAB ELEVATION

EL-01	2 DRAWER LEGAL FILE CABINET
EL-02	LOCKABLE CABINETRY - UPPER AND LOWER
EL-03	STAINLESS STEEL COUNTER WITH 6" BACKSPASH, PROVIDE RAISED EDGE, ALL SIDES, TYPICAL AT UPPER COUNTERS
EL-04	FILE ORGANIZER WALL MOUNTED
EL-05	SCALE STATION; 2'X2-11" EPOXY RESIN BALANCE TABLE
EL-06	UPPER CABINET WITH UNDER CABINET LIGHTING, TYPICAL
EL-07	4 DRAWER LEGAL FILE CABINET
EL-08	8" DIA. TRASH HOLE WITH FLUSH EPOXY COVER
EL-09	MICROSCOPE, PROVIDE POWER AND DATA AT ISLAND, ADJUSTABLE BASE
EL-11	STILL, SEE PLUMBING FOR ADJACENT WATER SUPPLY AND DRAIN LOCATIONS
EL-12	SURFACE MOUNTED POWER OUTLETS SET ON 1/2" EPOXY BLOCKS TO MATCH OUTLET FOOTPRINT. TYPICAL AT ISLANDS. SEE ELECTRICAL
EL-13	CUP SINK, SEE PLUMBING
EL-14	DESSICATOR
EL-15	3' WIDE, 14" DEEP 14" DEEP FULL HEIGHT GLASSWARE STORAGE
EL-16	GLASSWARE DISHWASHER
EL-17	(2) TSS LAB OVEN THERMO SCIENTIFIC 22"X 21"
EL-18	TUTTNAUER AUTOCLAVE
EL-19	PRECISION FECAL COLIFORM BATH
EL-20	TURBIDIMETER
EL-21	INCUBATOR REFRIGERATOR
EL-22	LAB REFRIDGERATOR
EL-23	AED CABINET
EL-25	VACUUM PUMP
EL-27	ISLAND SINK, FOOT PEDALS TO CONTROL
EL-28	SINK
EL-31	KIMBERLY-CLARK IN-SIGHT ELECT-R-MATIC HRT DISPENSER.

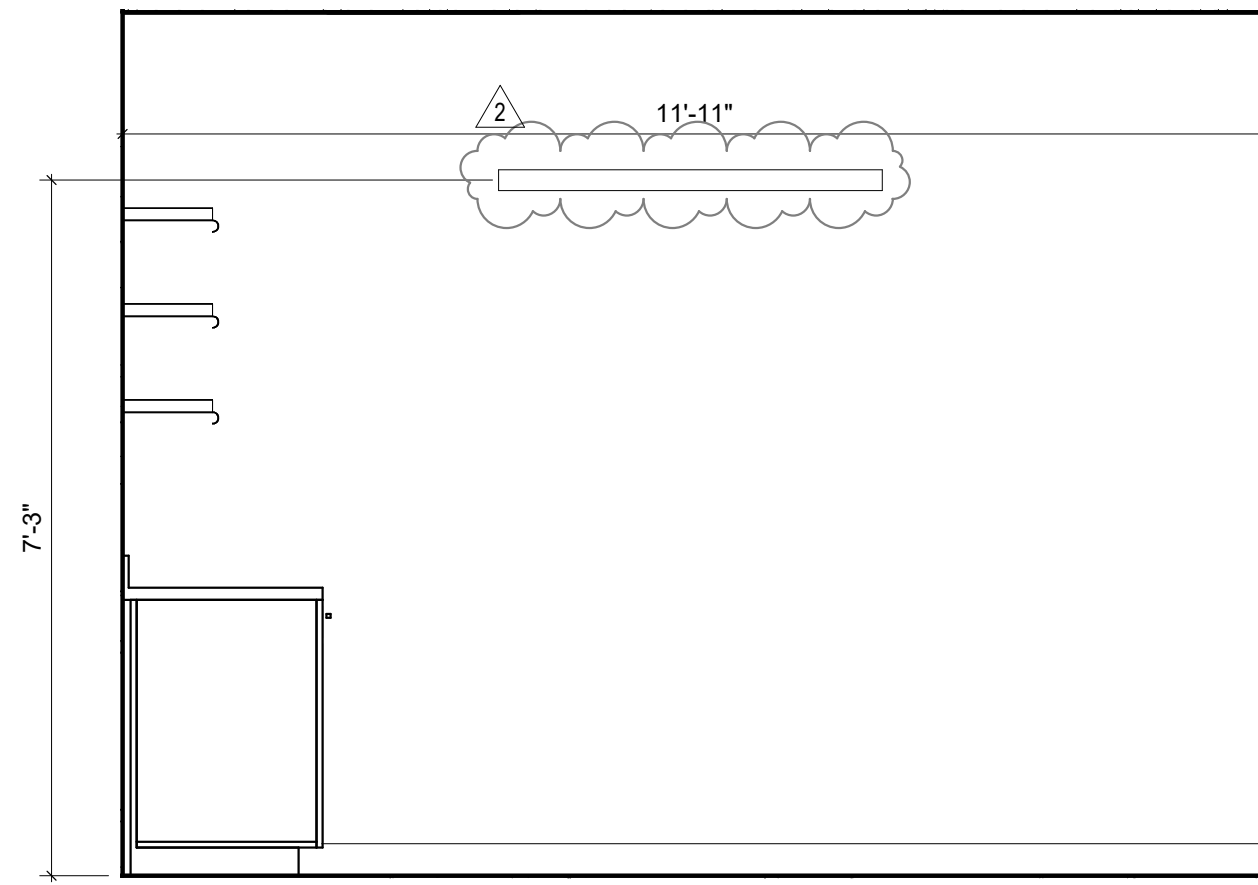
ISSUE LIST		
BID ISSUE		03/21/2024
2 BID ADDENDUM #2		04/18/2024



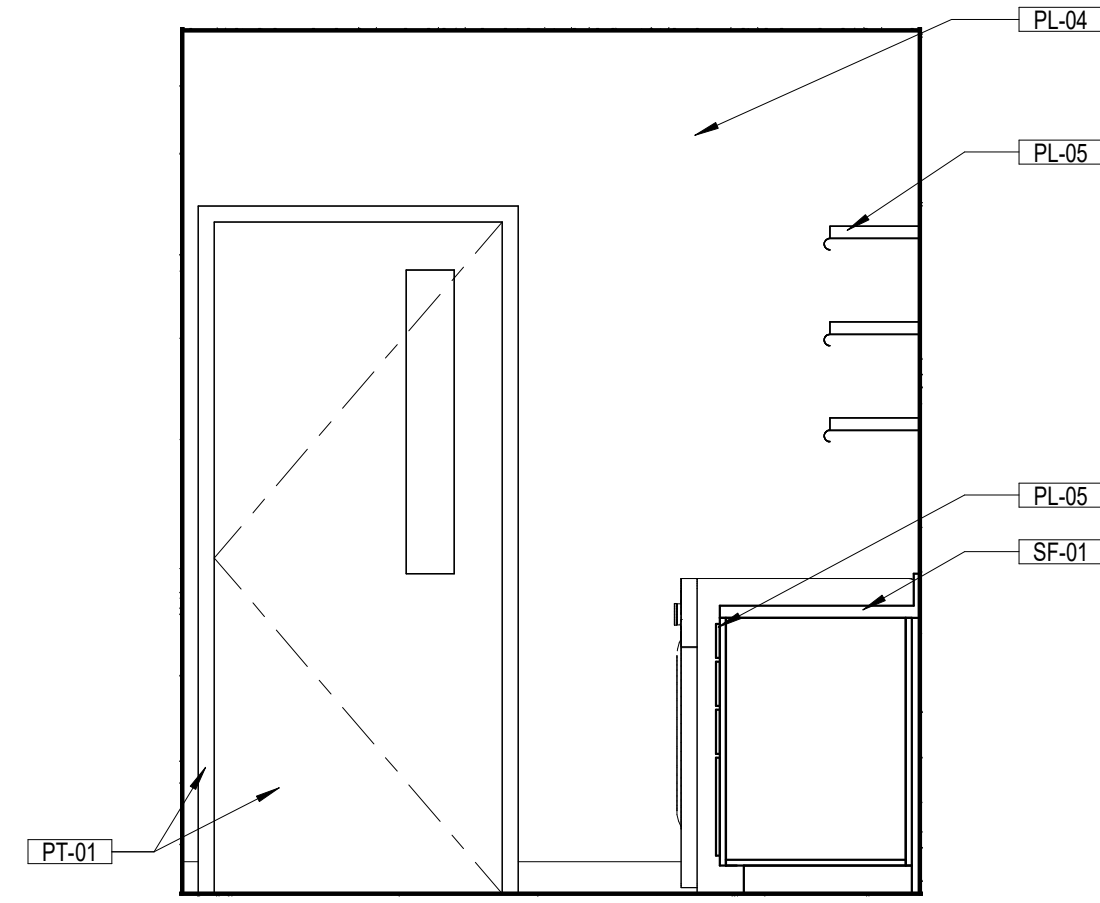
1
A4.11
JANITOR CLOSET - EAST WALL
Scale: 1/2" = 1'-0"



2
A4.11
JANITOR CLOSET - SOUTH WALL
Scale: 1/2" = 1'-0"

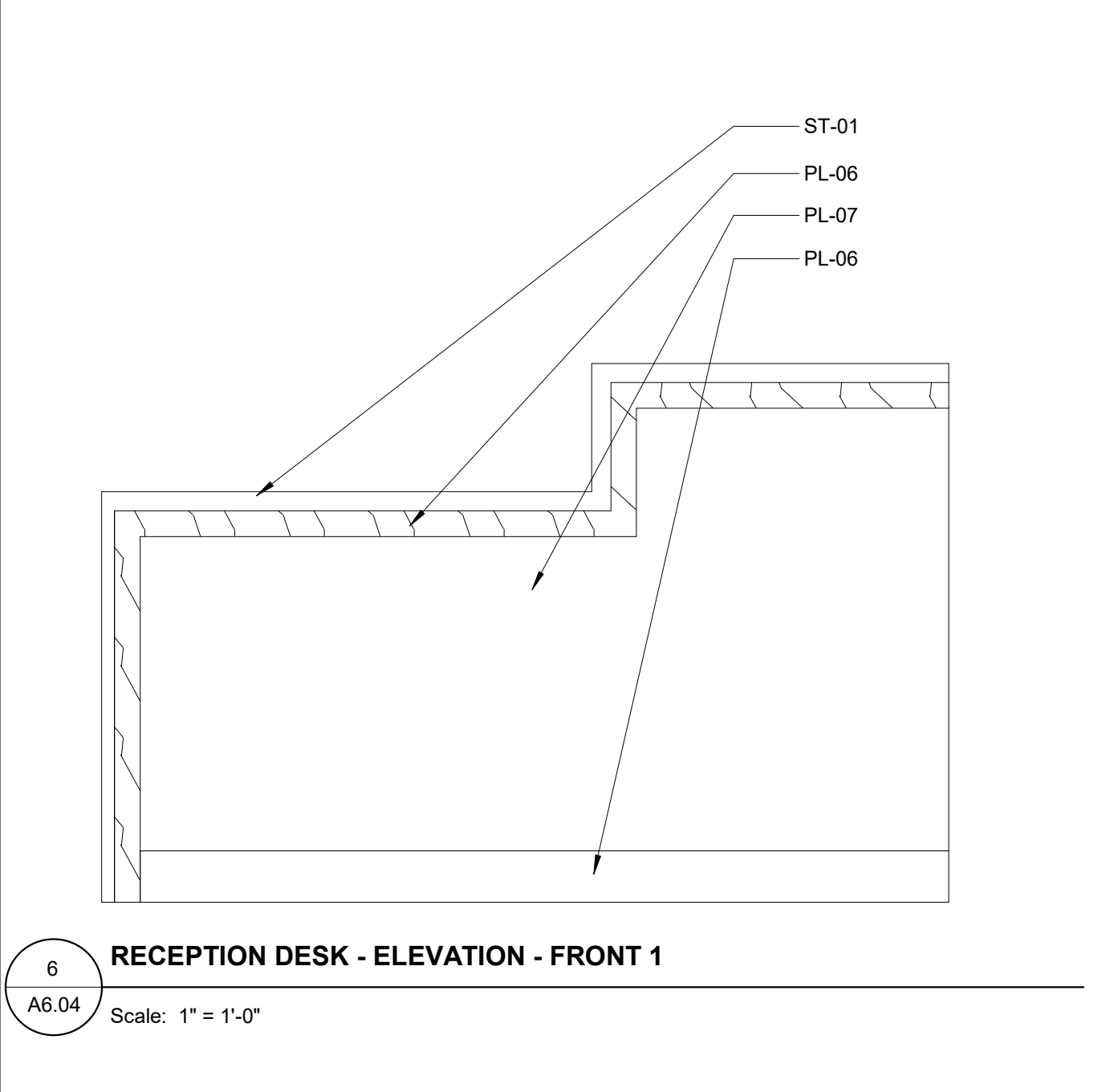
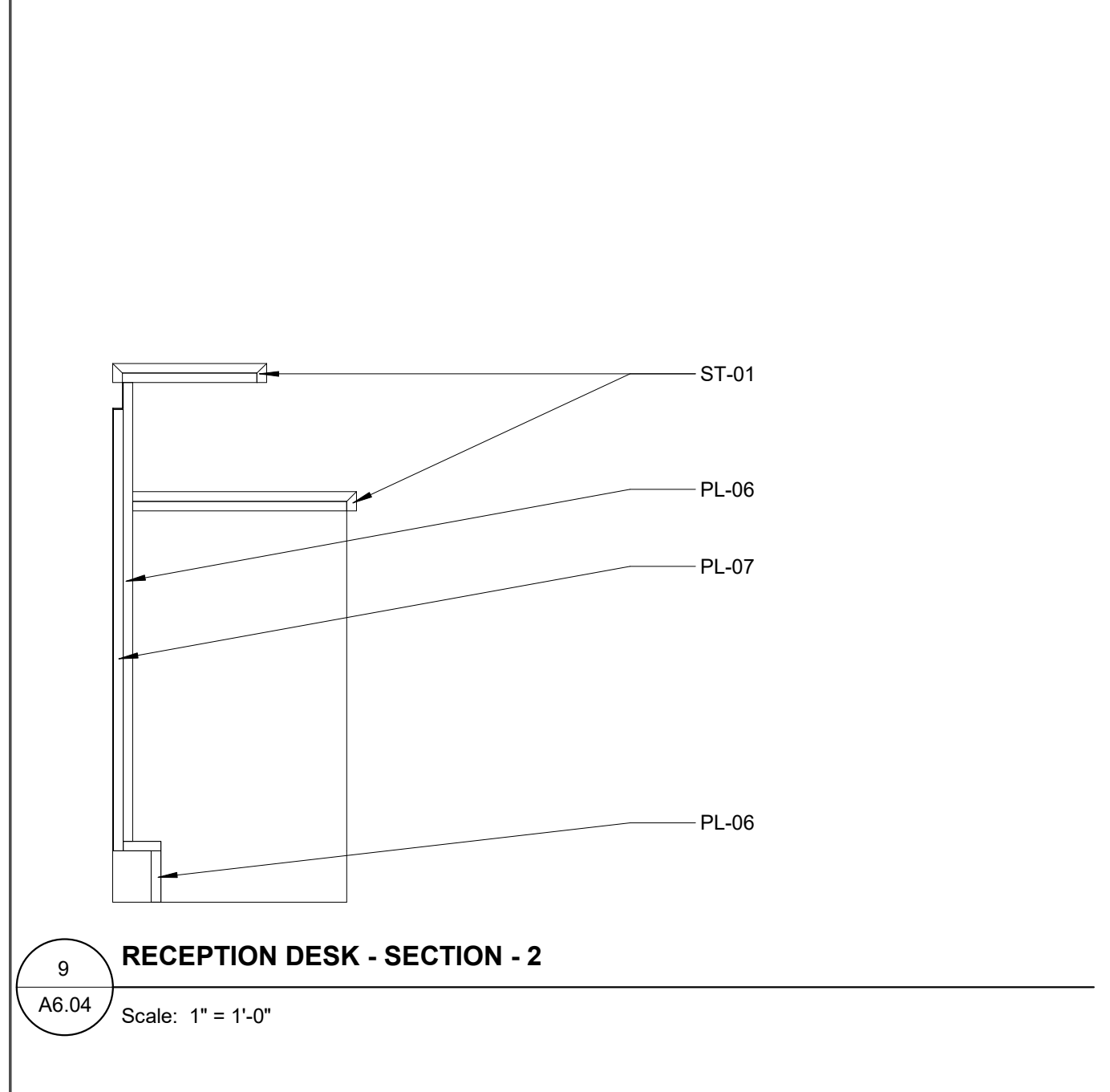
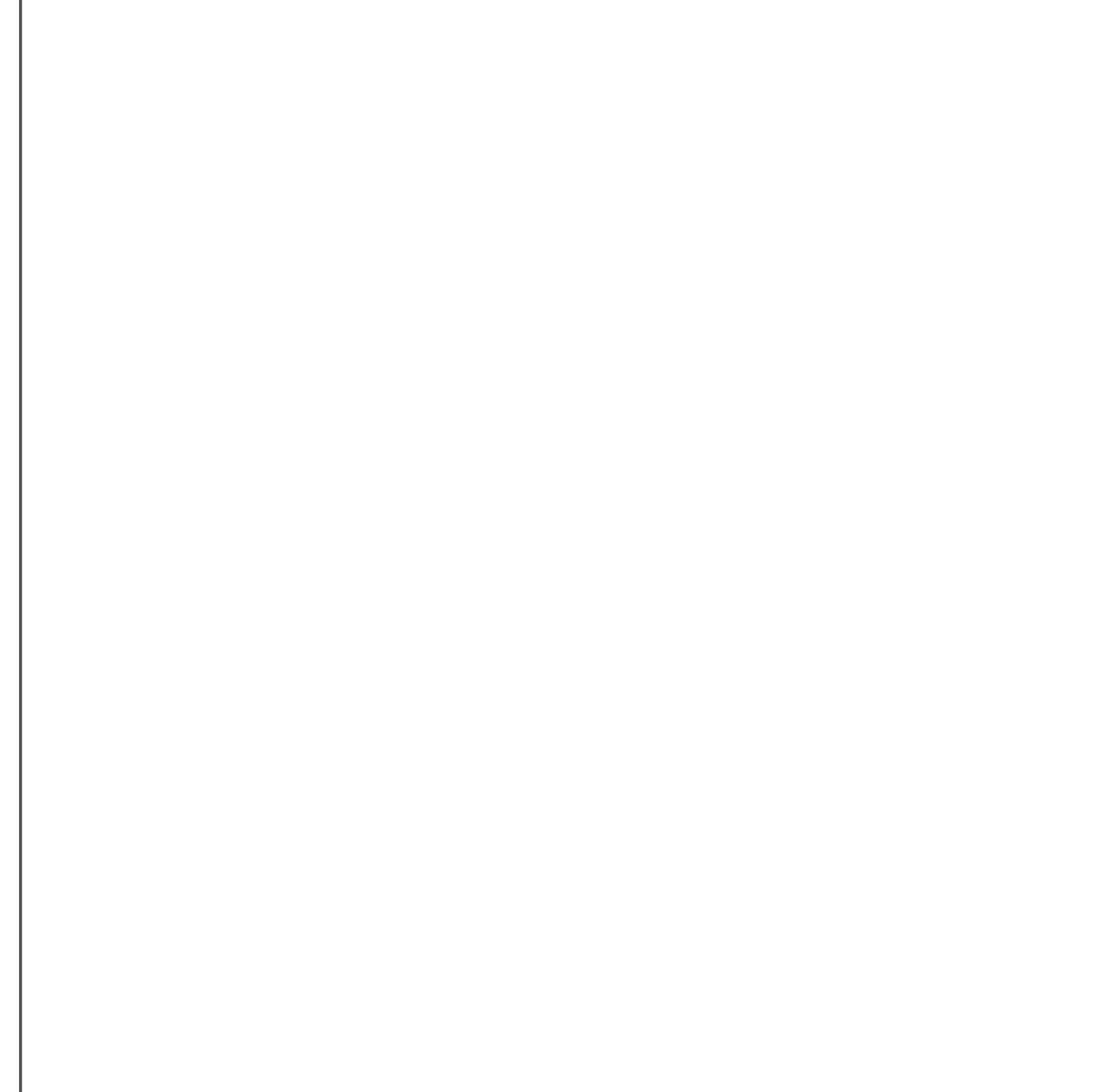
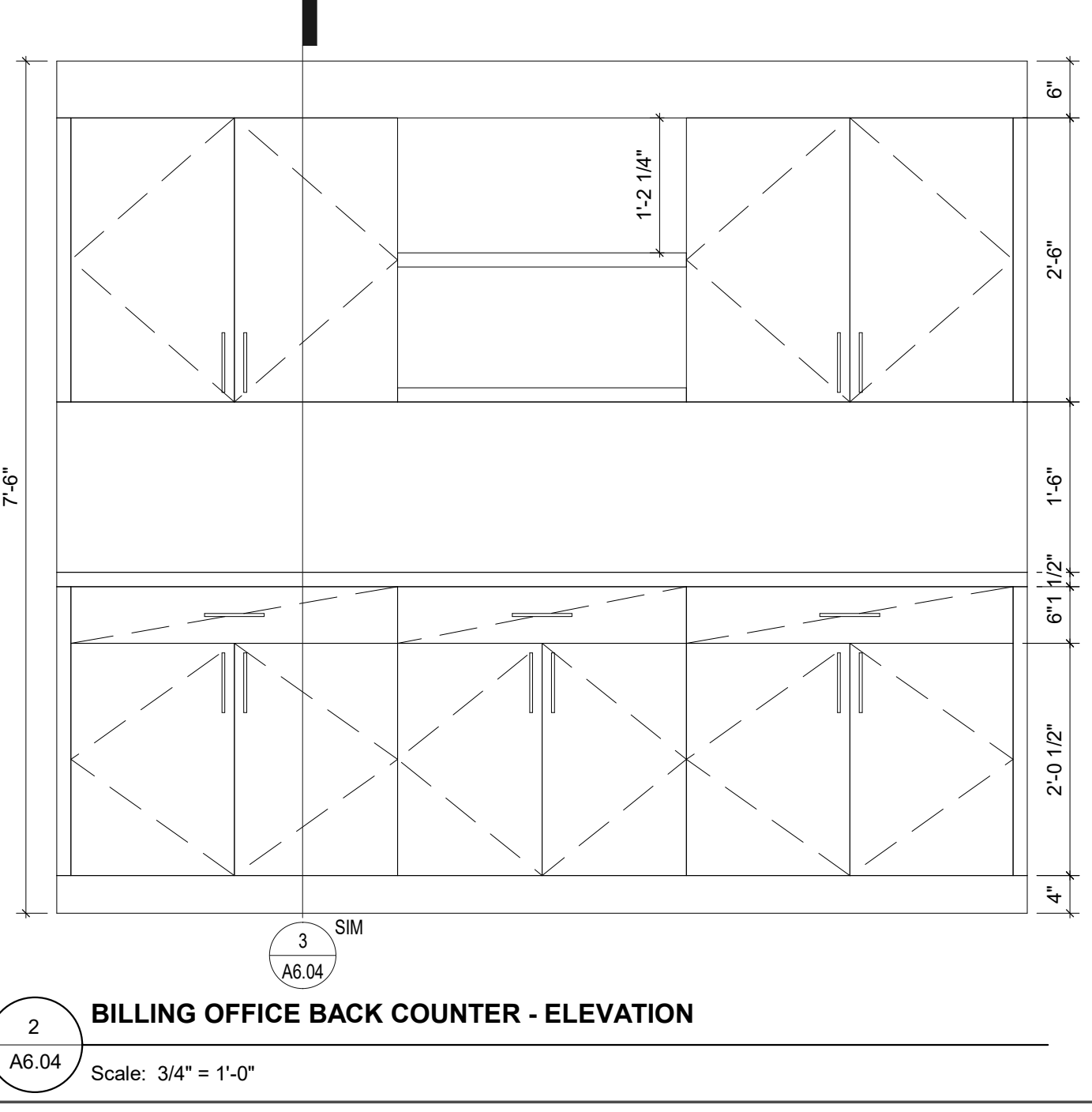
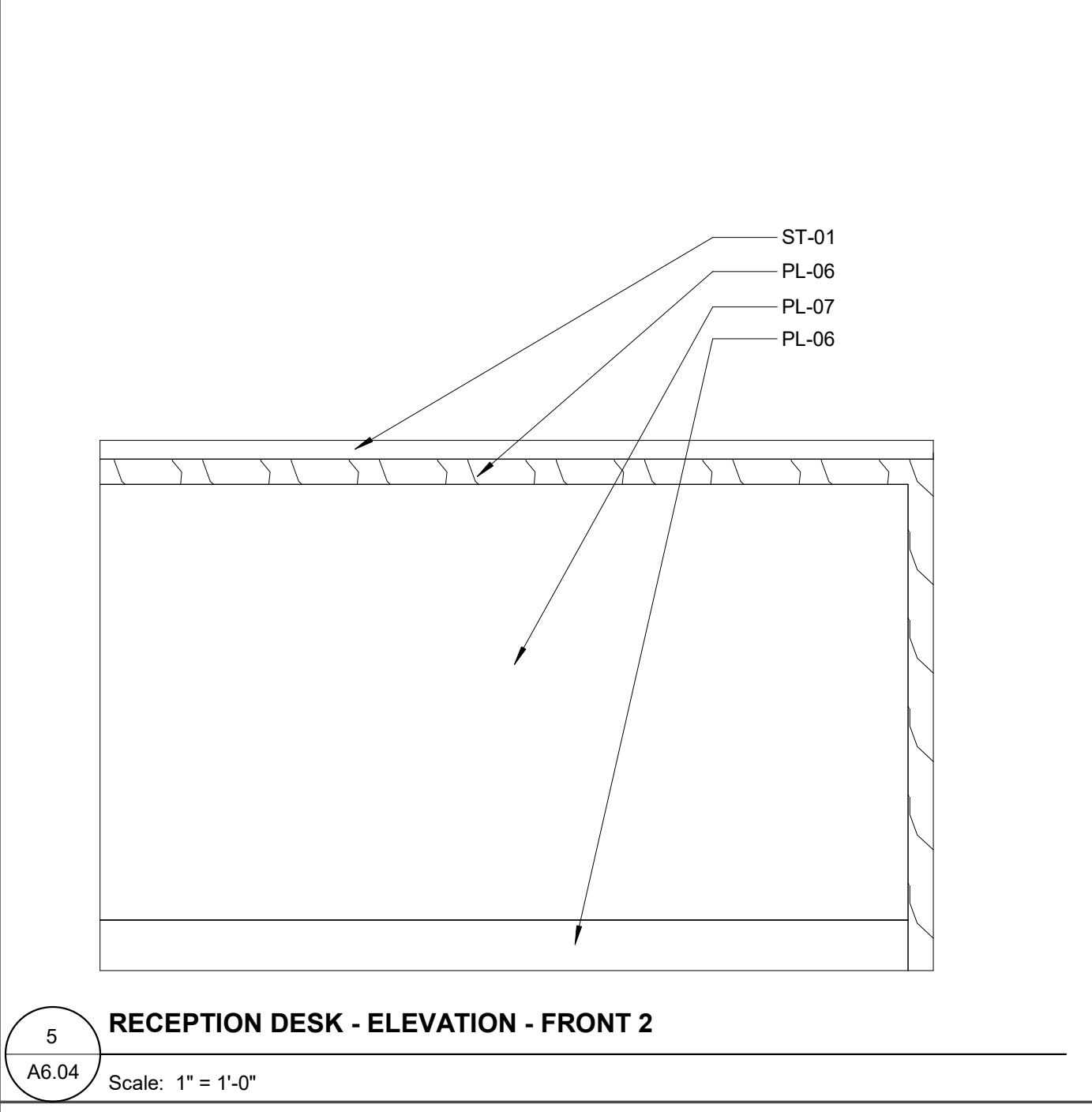
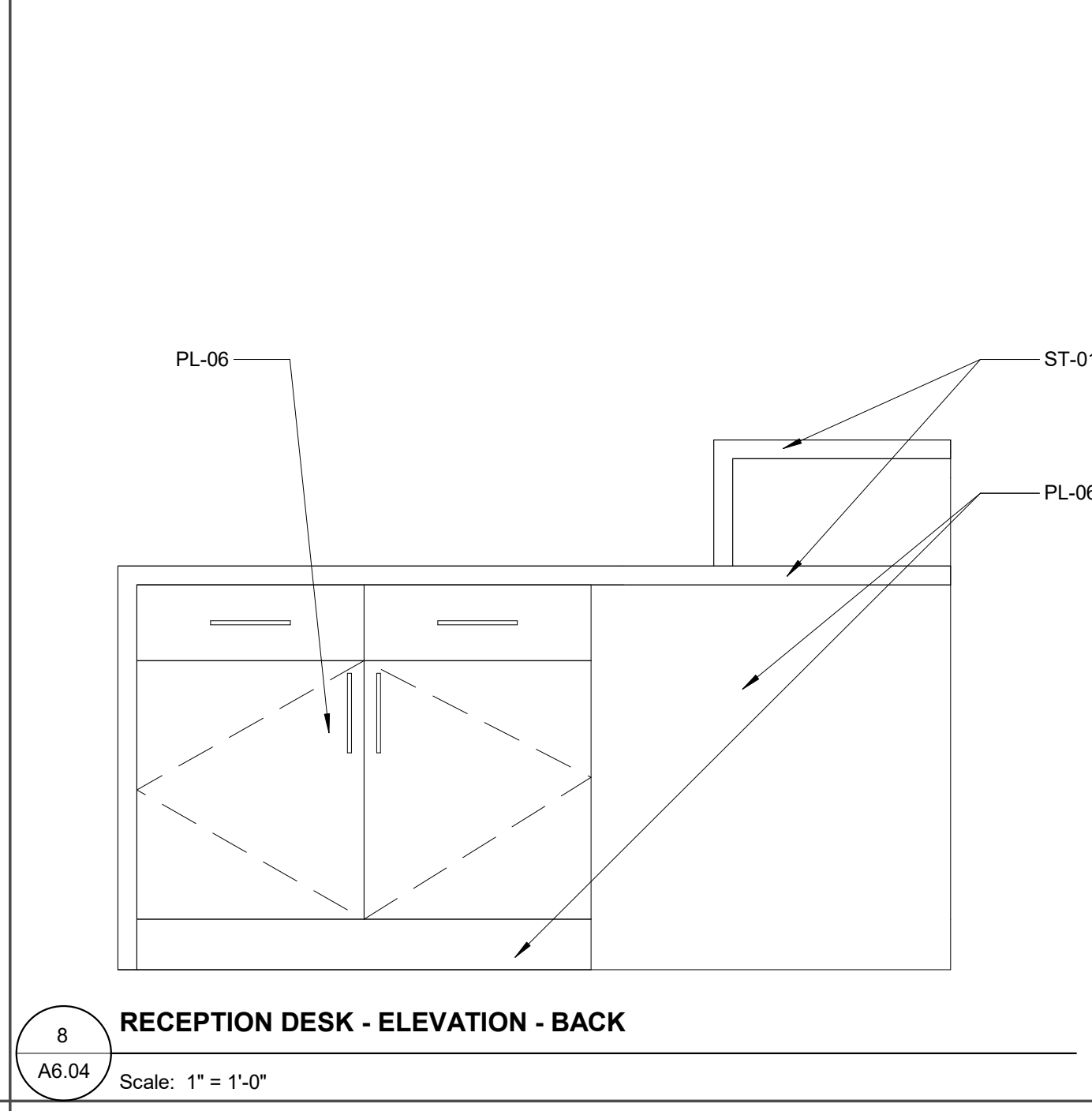
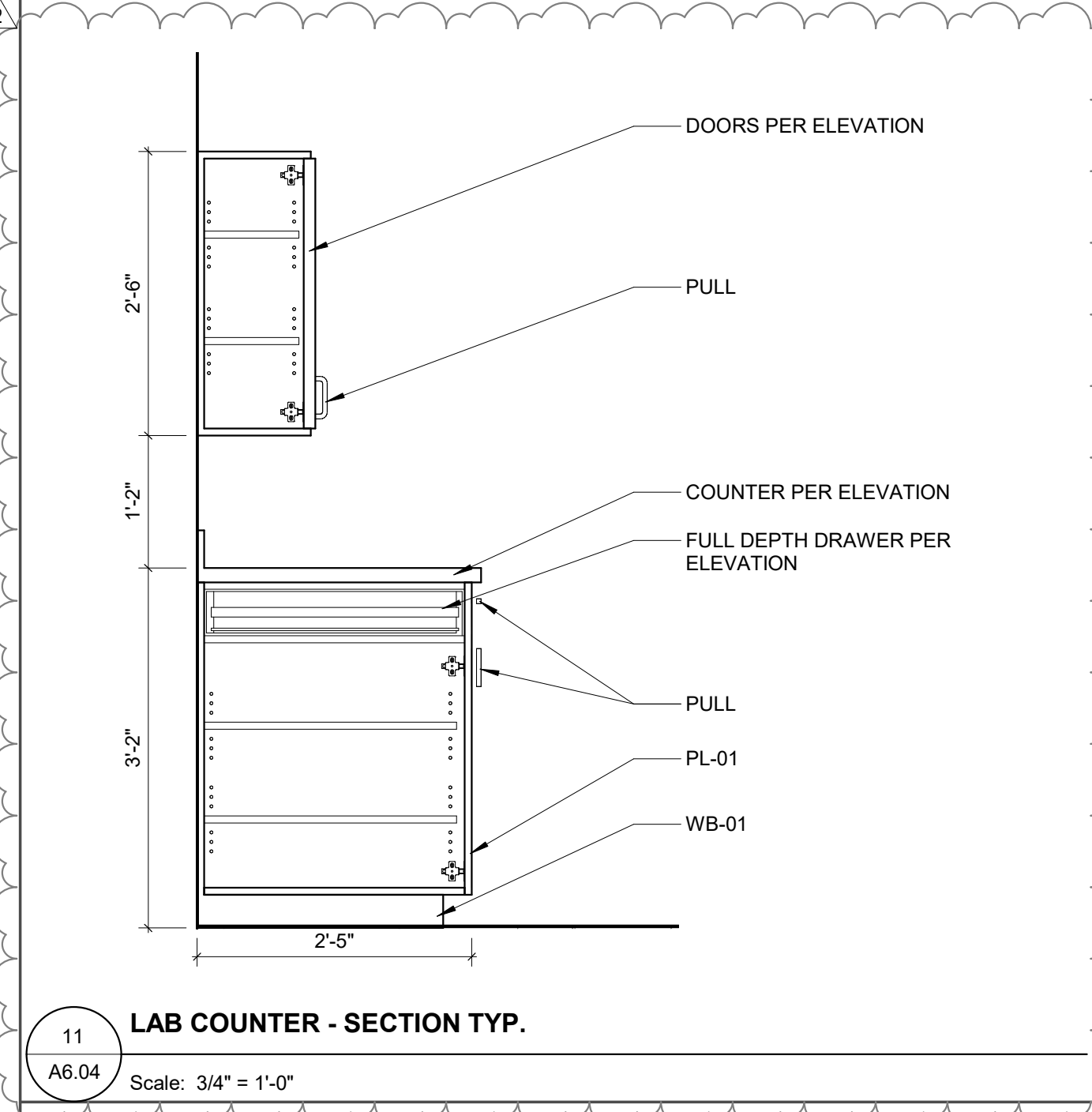
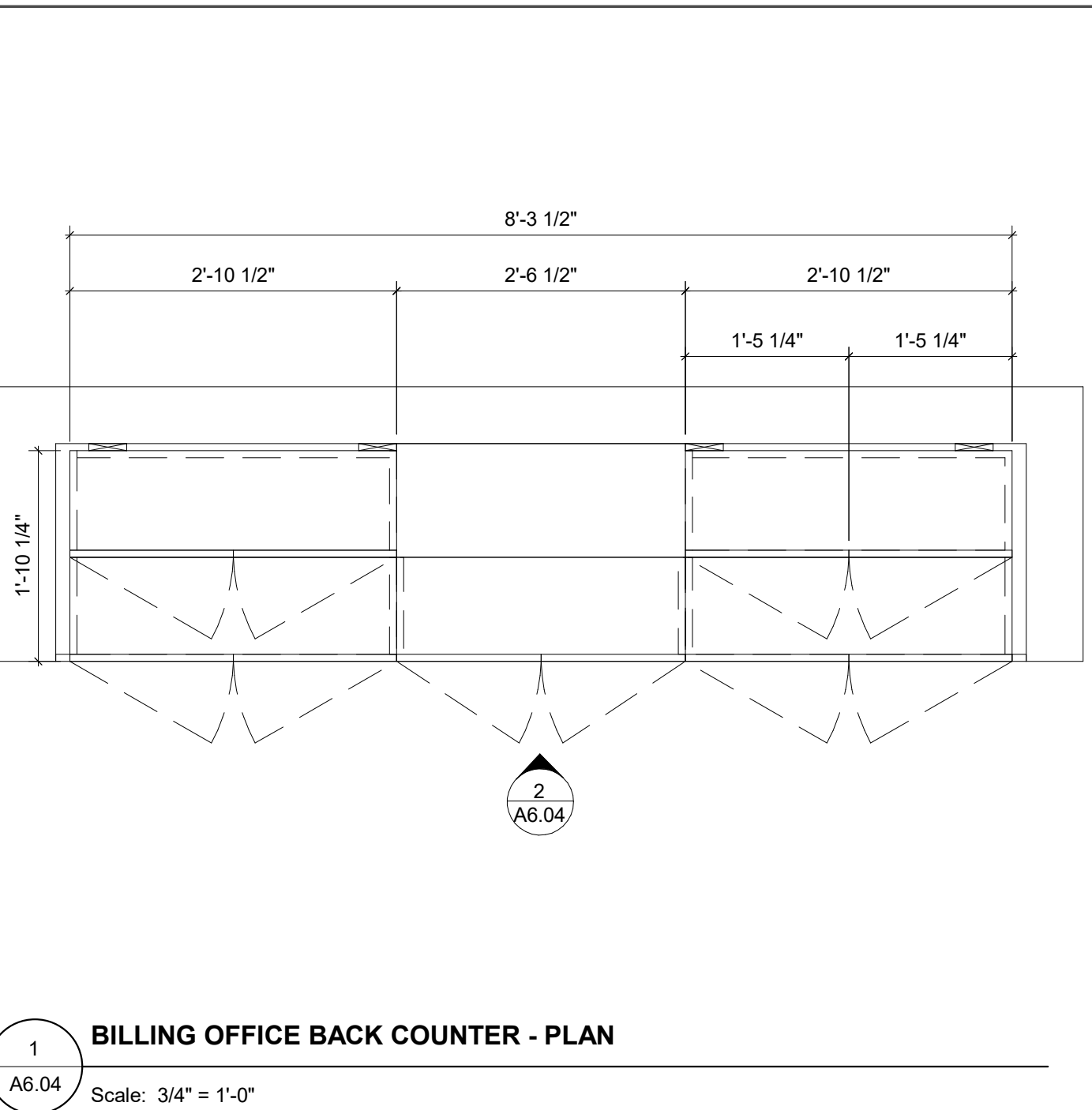
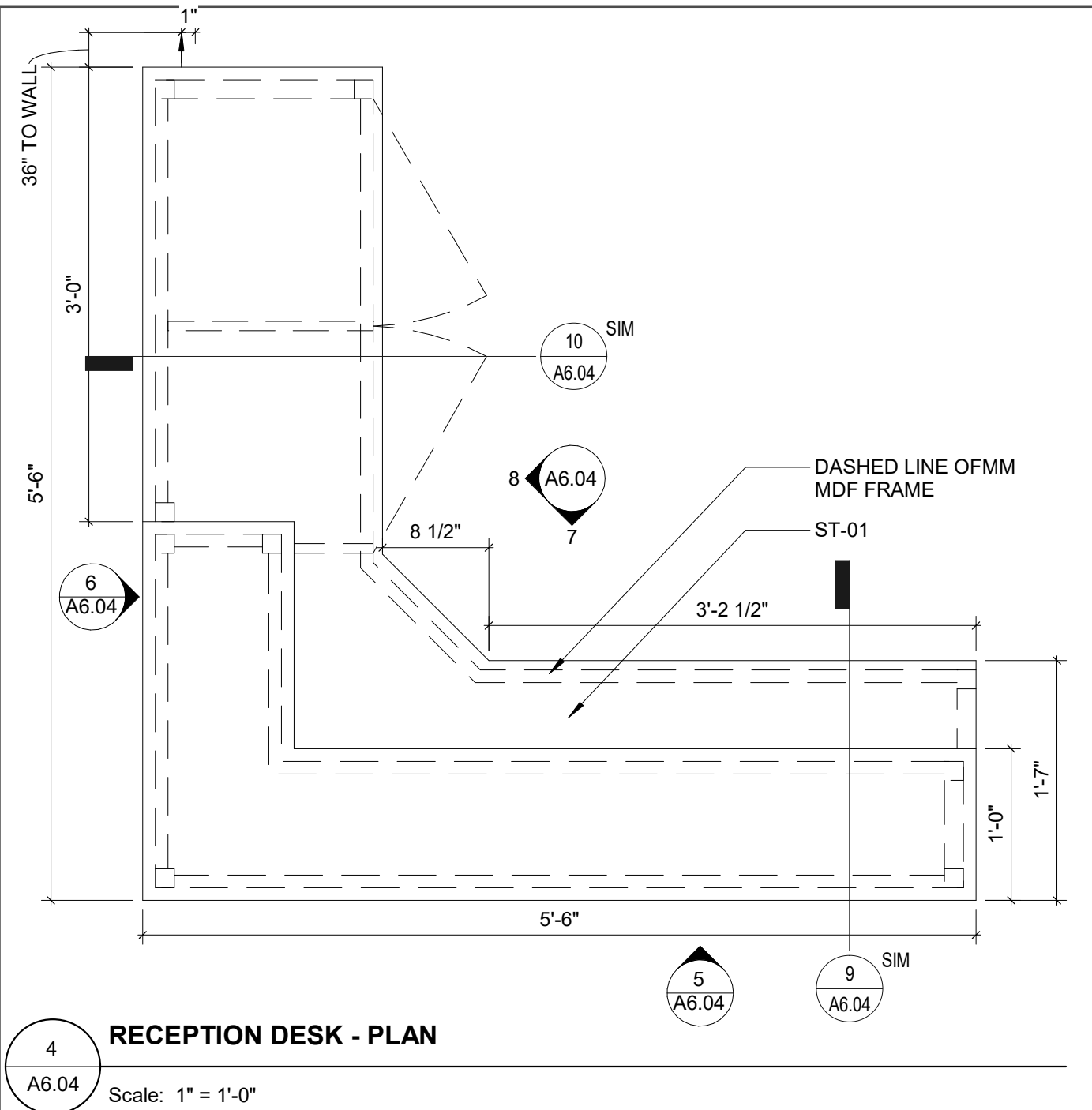
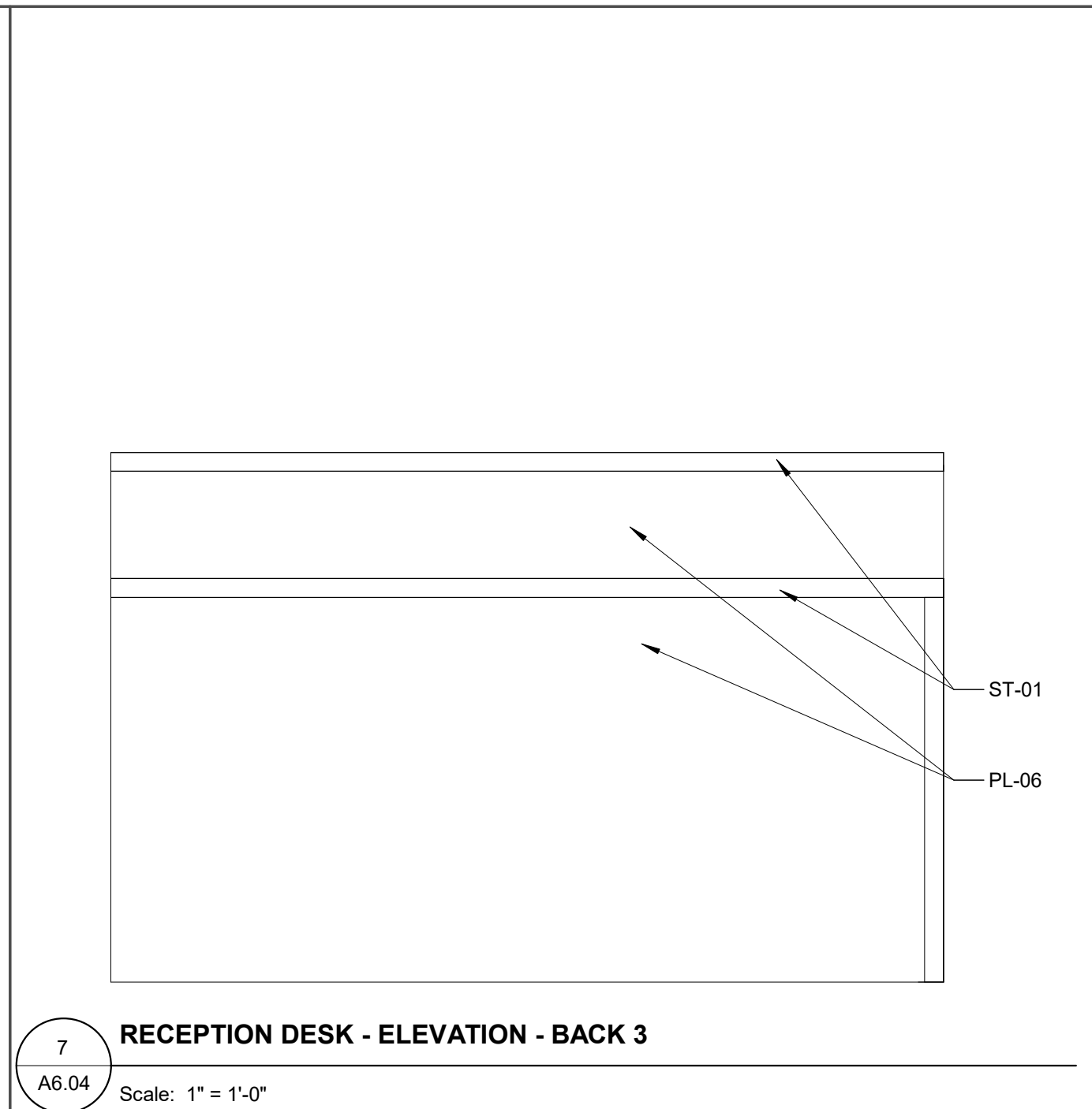
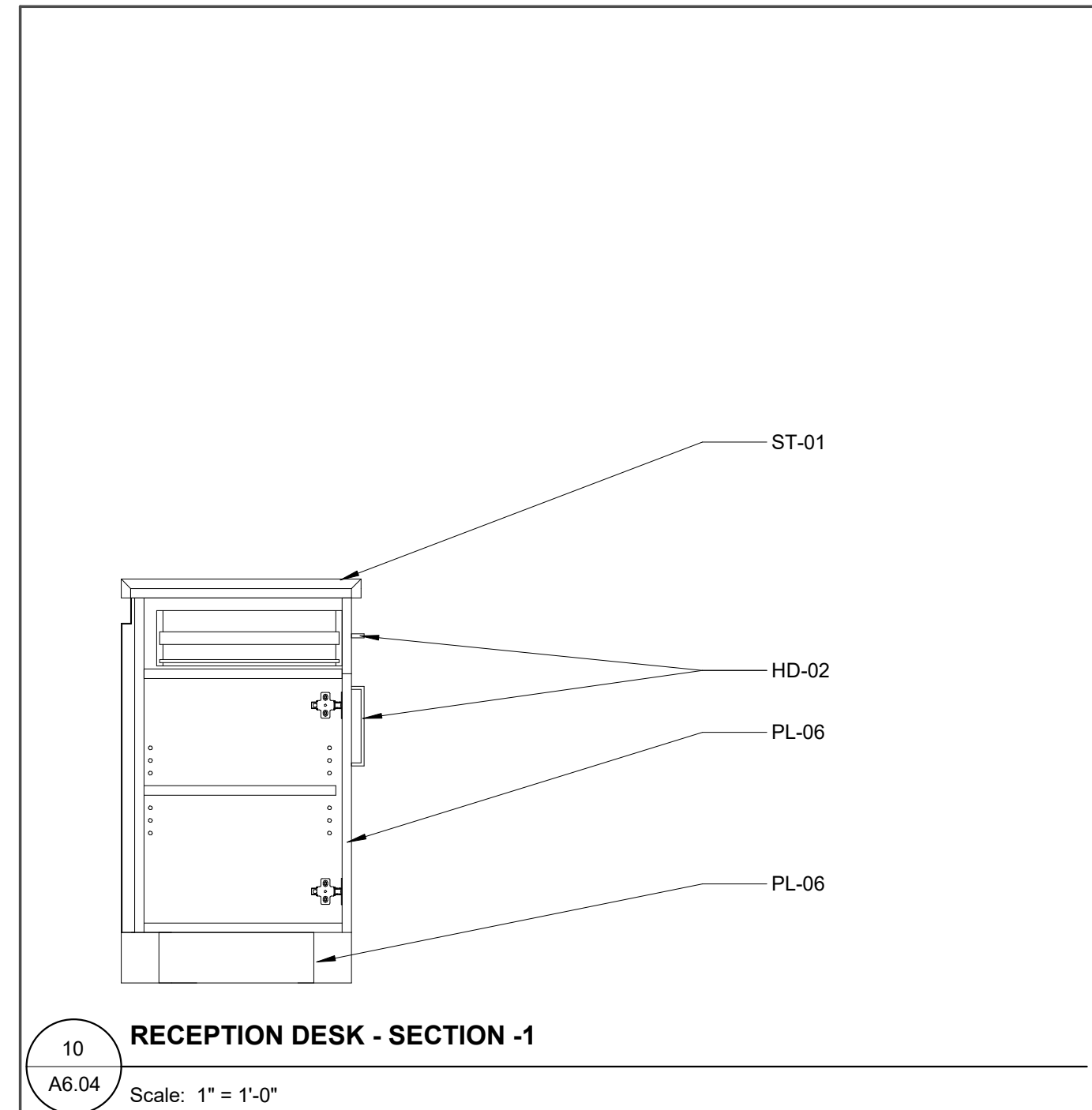


3
A4.11
JANITOR CLOSET - WEST WALL
Scale: 1/2" = 1'-0"

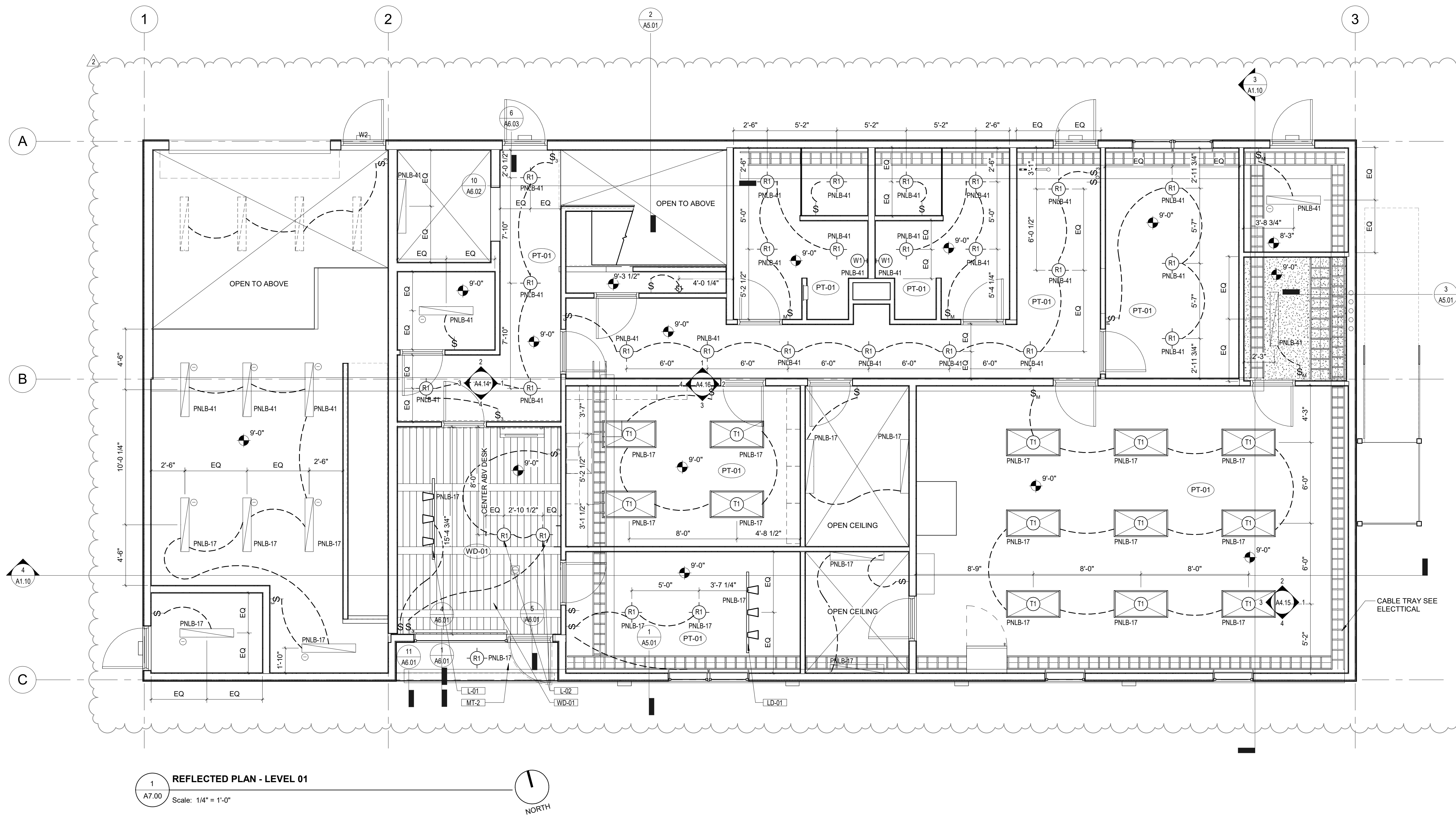


4
A4.11
JANITOR CLOSET - NORTH WALL
Scale: 1/2" = 1'-0"

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GENERAL NOTES - REFLECTED CEILING PLAN

- HVAC NOISE CRITERIA:
1. DISCHARGE SOUND BASED ON FOLLOWING **ARI 885** ATTENUATION CONDITIONS:
A. ENVIRONMENTAL EFFECT: PER **ARI 885**
B. ROOM EFFECT: 3000CU. FT. SPACE, 10 FT. FROM SOURCE.
1) 0.5' SP: NC 21
2) 1.0' SP: NC 25
- RADIATED SOUND
A. BASED ON THE FOLLOWING ARI 885 ATTENUATION CONDITIONS:
1) ENVIRONMENTAL EFFECT: PER **ARI 885**
2) DUCT LINING: 5 FT. OF ONE INCH FIBERGLASS
3) END REFLECTION: 8 INCH TERMINATION TO DIFFUSER
4) FLEX DUCT: 5 FT.
B. ROOM EFFECT: 3000 CU. FT. SPACE, 10 FT. FROM SOURCE
1) 0.5' SP: NC 21
- PROVIDE TRAPEZE PIPE HANGERS FOR SUSPENDED PLUMBING PIPE.
- VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, MECHANICAL, DUCTS, STRUCTURAL ELEMENTS AND ALL OTHER RELATED ITEMS. INSTALL NEW PLUMBING, MECHANICAL, FANS, DUCTS, CONDUITS, AND OTHER RELATED ITEMS SO AS NOT TO CONFLICT WITH ANY/ALL FIELD CONDITIONS INCLUDING LUMINAIRES.
- ALL G.W.B. CEILINGS TO BE FINISHED TO LEVEL 4 PER **FA-214**.
- LIGHT FIXTURES NOT LOCATED ON PLAN ARE TO BE CENTERED IN CEILING OF ROOM.

GENERAL NOTES - DAYLIGHT ZONES

- ALL DAYLIGHTED ZONES AND DAYLIGHT ZONE CONTROLS SHALL COMPLY WITH THE 2018 WASHINGTON STATE ENERGY CODE.
- PRIMARY DAYLIGHT ZONE: EXTERIOR WINDOW HEAD HEIGHT x WINDOW WIDTH + 2' ON EITHER SIDE.
SECONDARY DAYLIGHT ZONE: AREA EQUAL IN SIZE TO THE PRIMARY ZONE.
- AUTOMATIC DAYLIGHT SENSING CONTROLS SHALL BE CAPABLE OF REDUCING THE LIGHT OUTPUT OF THE CONTROLLED LUMINAIRES WHILE MAINTAINING A UNIFORM LEVEL OF ILLUMINANCE BY **CONTINUOUS DIMMING** TO AT LEAST 20% LIGHT OUTPUT.
- DAYLIGHT SENSING CONTROLS SHALL CONTROL ONLY LUMINAIRES WITHIN THE DAYLIGHTED AREA.
- AUTOMATIC DAYLIGHT SENSING CONTROLS SHALL INCORPORATE TIME-DELAY CIRCUITS TO PREVENT CYCLING OF LIGHT LEVEL CHANGES OF LESS THAN THREE MINUTES.
- DAYLIGHT RESPONSIVE CONTROLS SHALL BE CONFIGURED TO COMPLETELY SHUT OFF ALL CONTROLLED LIGHTS IN THAT ZONE.

LEGEND - REFLECTED CEILING PLAN

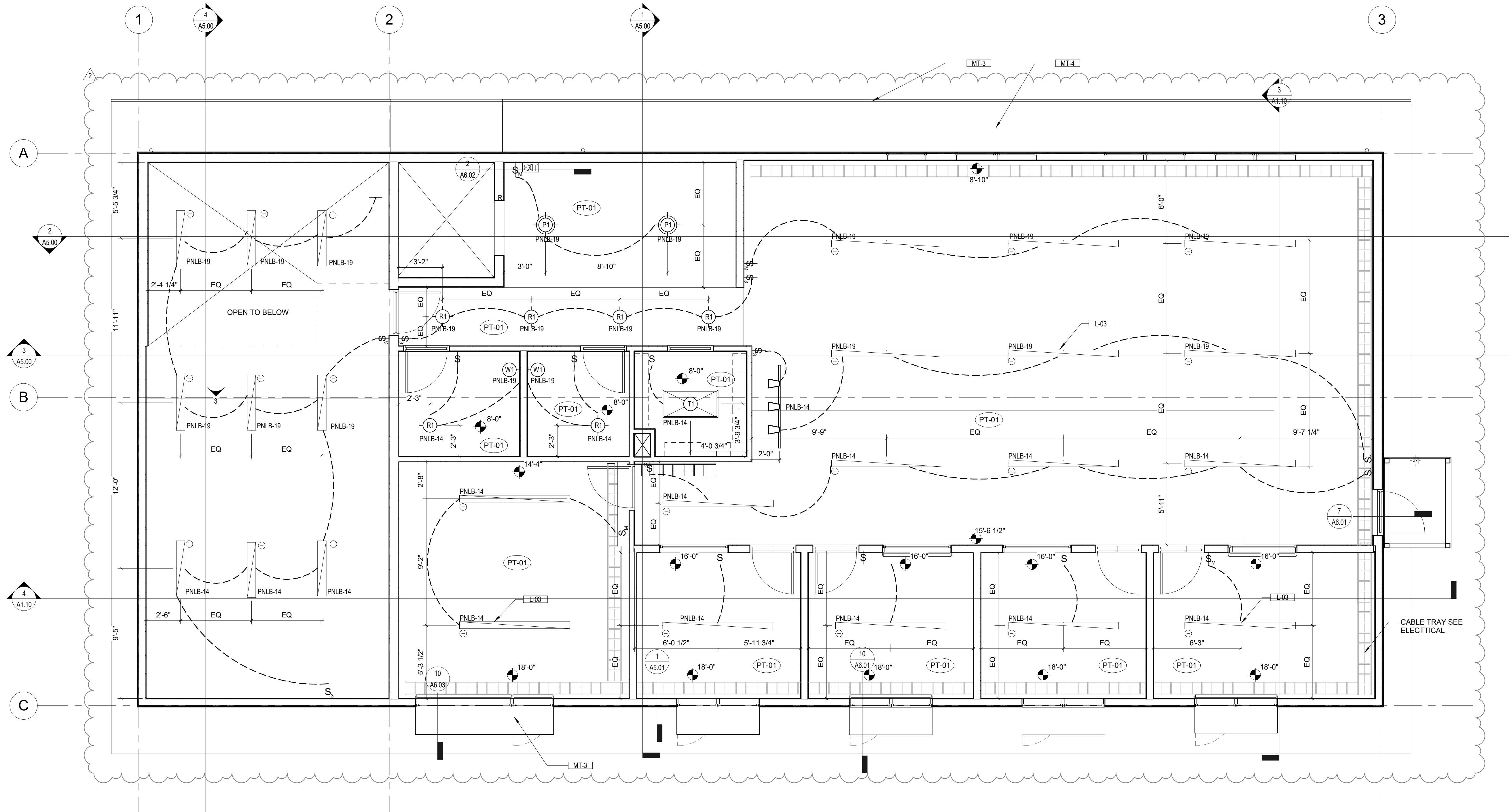
	NEW ACOUSTICAL CEILING TILE GRID		2'x4' RECESSED LIGHT FIXTURE
	WALL SWITCH (+48")		SURFACE MOUNTED DOWNLIGHT / DIRECTIONAL DOWNLIGHT
	WALL SWITCH W/ OCCUPANCY MOTION SENSOR (+48")		RECESSED DOWNLIGHT / DIRECTIONAL DOWNLIGHT
	3-WAY WALL SWITCH (+48")		PENDANT LIGHT FIXTURE
	WALL SWITCH W/ DIMMER (+48")		WALL SCONCE
	WALL SWITCH W/ TIMER (+48")		TRACK LIGHTING
	WALL SWITCH CONNECTED TO SWITCHED RECEPTACLE (+7" ACH)		UNDER CABINET LIGHTING
	WALL SWITCH FOR GARBAGE DISPOSAL (+7" ACH)		MECHANICAL SUPPLY REGISTER
	MASTER SWITCH (LIGHTING RELAY) TO TURN ON/OFF SELECT LIGHTS		MECHANICAL RETURN REGISTER
	INDICATES SWITCHING		EXHAUST FAN
	CEILING PAINT FINISH (SEE SCHEDULE)		INTERNALLY ILLUMINATED EXIT SIGN
	HEIGHT ABOVE FINISHED FLOOR		INTERNALLY ILLUMINATED EXIT SIGN WITH HORN/SSTROBE
	CABLE TRAY		FIRE SPRINKLER (BIDDER DESIGN)
			30" VANITY LIGHT
			SUSPENDED LIGHT FIXTURE (PNLB 15, PNLB 17, PNLB 19, PNLB 21)

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SEE LIGHT FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION

REFLECTED CEILING PLAN LEVEL 01

A7.00



1 REFLECTED PLAN - LEVEL 02

A7.01 Scale: 1/4" = 1'-0"



LEGEND - REFLECTED CEILING PLAN

	NEW ACOUSTICAL CEILING TILE GRID		2'x4' RECESSED LIGHT FIXTURE
	WALL SWITCH (+48")		SURFACE MOUNTED DOWNLIGHT / DIRECTIONAL DOWNLIGHT
	WALL SWITCH W/ OCCUPANCY MOTION SENSOR (+48")		RECESSED DOWNLIGHT / DIRECTIONAL DOWNLIGHT
	3-WAY WALL SWITCH (+48")		PENDANT LIGHT FIXTURE
	WALL SWITCH W/ DIMMER (+48")		WALL SCONCE
	WALL SWITCH W/ TIMER (+48")		TRACK LIGHTING
	WALL SWITCH CONNECTED TO SWITCHED RECEPTACLE (+7" ACH)		UNDER CABINET LIGHTING
	WALL SWITCH FOR GARBAGE DISPOSAL (+7" ACH)		MECHANICAL SUPPLY REGISTER
	MASTER SWITCH (LIGHTING RELAY) TO TURN ON/OFF SELECT LIGHTS		MECHANICAL RETURN REGISTER
	INDICATES SWITCHING		EXHAUST FAN
	CEILING PAINT FINISH (SEE SCHEDULE)		INTERNALLY ILLUMINATED EXIT SIGN
	HEIGHT ABOVE FINISHED FLOOR		INTERNALLY ILLUMINATED EXIT SIGN WITH HORN/STROBE
	CABLE TRAY		FIRE SPRINKLER (BIDDER DESIGN)
			30" VANITY LIGHT
			SUSPENDED LIGHT FIXTURE (PNLB 15, PNLB 17, PNLB 19, PNLB 21)

SEE LIGHT FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION

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FIRST FLOOR LIGHTING FIXTURE SCHEDULE

ID	DESCRIPTION	QTY	VOLTAGE	VA	MOUNTING	LUMENS	LED COLOR TEMP	MANUFACTURER/CAT. NO.	NOTES
W1H	WALL MOUNTED - LED VANITY FIXTURE	2	120-277 VAC	39	SURFACE/WALL	2400	3000K	LINEA LIGHTING/LL-SC1042/LL-SC1043/LL-SC1044	
W2H	WALL MOUNTED EXTERNAL LED FIXTURE	8	120-277 VAC	27	SURFACE/WALL	2400	3000K	AFX DEXTER LED OUTDOOR SCONCE/DEXW SERIES	
L	4' LED LINEAR FIXTURE	16	120-277 VAC	-	SURFACE/WALL	4000K		LITHONIA FMLWL 48 480	
T1	2'X4' LED RECESSED DIRECT/INDIRECT	13	120-277 VAC	50	SURFACE	5705	3500K	CORONET /TDCW LED-2X4-LTGI-COLOR-90CRI	
P	PENDANT LIGHT	2	120-277 VAC	39	PENDANT	-	4000K	VISUAL COMFORT & CO 700TDWDS LED 90 CRI 3000K 120V	
R1	6" LED RECESSED DOWNLIGHT	27	120-277 VAC	-	SURFACE	-	2700K	NORA / NHMIC-685-LE* / NRM-611L-85-35-HZW	
EXIT	LED EXIT SIGN	6	120-277 VAC	5	CEILING	-	LED	EXITRONIX S900 SERIES (PART NO. TBD)	
EXIT	LED EXIT EGRESS SIGN	1	120-277 VAC	-	CEILING	410	4000K	DUAL LITE LED EXIT EGRESS SIGN (PART NO.)	EV EMERGENCY LIGHT, MOUNTING TYPE: WALL OR CEILING MOUNT, COLOR: WHITE, NUMBER OF LAMPS: 2, BATTERY TYPE: NICKEL METAL HYDRIDE (NIMH), BATTERY RUNTIME: 90 MIN, VOLTAGE RATING: 120/277 VAC, ENVIRONMENTAL CONDITIONS: DRY LOCATION
OS2	OCCUPANCY SENSORS	AS REQ'D	120VAC	-	SURFACE/WALL	-	-	SENSORSWITCH / AS REQ'D	LIGHTING CONTROL, SEE DRAWING NOTES
T	4' TRACK LIGHT PACK	2	120 VAC	38	SURFACE	800LM/HEAD	2700K	NORA LIGHTING NTL-850	

LEGEND

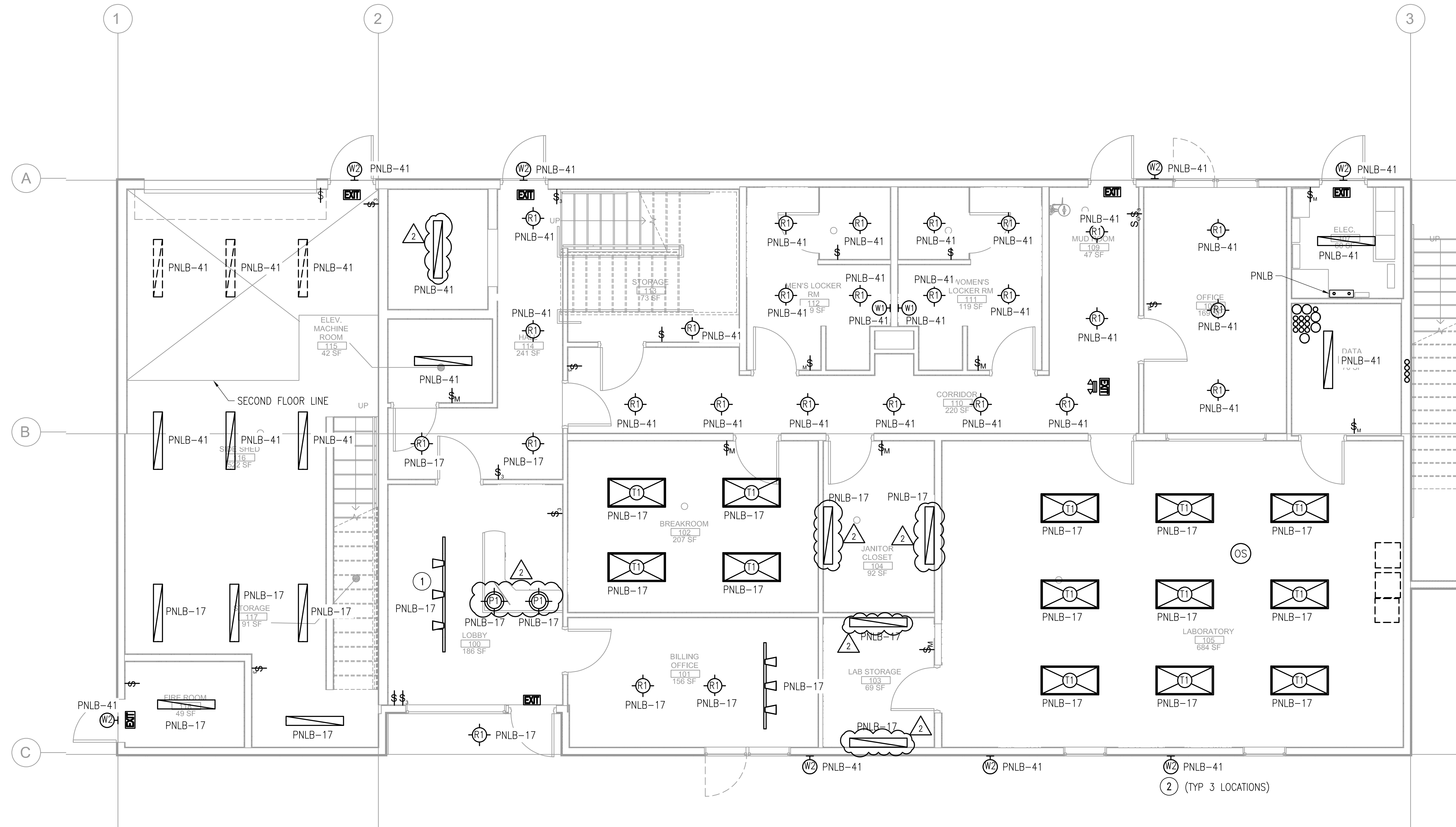
REFER TO SHEET E1.0 FOR PROJECT SYMBOLS AND NOTES.

GENERAL NOTES

- ALL CONDUIT ROUTING IS DIAGRAMMATIC. ELECTRICAL CONTRACTOR SHALL DETERMINE THE BEST ROUTING PATH AND CIRCUIT COMBINATIONS BASED ON FIELD CONDITIONS AND ELECTRICAL CODES.
- ALL NEW FEEDER AND BRANCH CIRCUIT CONDUCTORS TO BE TYPE THHN COPPER UNLESS OTHERWISE NOTED.
- ALL BRANCH CIRCUIT CONDUCTORS TO BE SIZED #12 AWG UNLESS OTHERWISE NOTED ON THE PLANS.
- INSTALL ALL STAIRWELL MOTION SENSORS FACING DIRECTION OF STAIRS.
- PAINT ALL CONDUIT AND DEVICE BOXES TO MATCH WALL AND CEILING COLORS.
- TOTAL CONNECTED LIGHTING LOADS (TOTAL FIXTURES CONNECTED TO A SINGLE CIRCUIT) SHALL NOT BE MORE THAN 16A FOR 20A CIRCUITS OR 12A FOR 15A CIRCUITS. SEE SHEET E5.0 FOR PANELBOARD SCHEDULES CIRCUIT ASSIGNMENTS.
- ALL EXTERIOR LIGHTS ARE EQUIPPED WITH PHOTOCELL FOR COMING ON AT DUSK AND GOING OFF AT DAWN. INSTALL LIGHT SWITCH DIGITAL TIMERS CONTROLLING OUTSIDE LIGHTS TO TURN THE LIGHTS OFF AT 11:00 PM UNTIL 6:00 AM.
- ALL LIGHTING AND CONTROLS INSTALLED SHALL BE FUNCTIONALLY TESTED AND A WRITTEN REPORT INCLUDING THE RESULTS BE PROVIDED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL.
- JUNCTION BOXES ARE NOT SHOWN. CONTRACTOR SHALL USE AS NEEDED IN ACCORDANCE WITH NEC 358.26.
- MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND COVERED FINISHED WITH ONE COVER PLATE U.N.O.
- WASHINGTON STATE NON-RESIDENTIAL ENERGY CODE INTERIOR LIGHTING SUMMARY ATTACHED SEPARATELY.
- NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, SPRINKLERS, HVAC, AND/OR EXISTING CONDUIT, PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN ARCHITECTS PROPOSED CEILING GRID/PANEL LOCATIONS AND ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO FRAMING.

KEYED NOTES

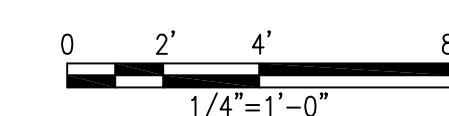
- CONTRACTOR SHALL INSTALL RECESSED CAN LIGHT FIXTURES IN 1 1/2" CEMENT UNDERLAYMENT SLAB BETWEEN 1ST AND 2ND FLOOR.
- FOR EXTERIOR LIGHTING FIXTURES ELEVATION HEIGHT REFER TO SHEET A4.00.



FIRST FLOOR LIGHTING PLAN

SCALE: 1/4" = 1'-0"

1
E4.0



ISSUE LIST

NO.	DESCRIPTION	DATE
1	BID ISSUE	03/27/2024
2	BID ADDENDUM 2	04/18/2024

PROJECT NO.: 0070800.01
PROJECT MGR.: M. AZEEM
DRAWN BY: R. PINLAC
CHECKED BY: J. NORTON

ELECTRICAL FIRST FLOOR LIGHTING PLAN

E4.0

SECOND FLOOR LIGHTING FIXTURE SCHEDULE

ID	DESCRIPTION	QTY	VOLTAGE	VA	MOUNTING	LUMENS	LED COLOR TEMP	MANUFACTURER/CAT. NO.	NOTES
W1H	WALL MOUNTED - LED VANITY FIXTURE	2	120-277 VAC	39	SURFACE/WALL	2400	3000K	LINEA LIGHTING/LL-SC1042/LL-SC1043/LL-SC1044	
W2H	WALL MOUNTED EXTERNAL LED FIXTURE	1	120-277 VAC	27	SURFACE/WALL	2400	3000K	AFX DEXTER LED OUTDOOR SCONCE/DEXTW SERIES	-
L1	4' LED LINEAR FIXTURE	9	120-277 VAC	-	SURFACE/WALL	4000K		LITHONIA FMLWL 48 480	
T1	2'X4' LED RECESSED DIRECT/INDIRECT	2	120-277 VAC	50	SURFACE	5705	3500K	CORONET /TDCW LED-2X4-LTGI-COLOR-90CRI	
P1	PENDANT LIGHT	2	120-277 VAC	39	PENDANT	550	4000K	VISUAL COMFORT & CO 700TDWDS LED 90 CRI 3000K 120V	
R1	6" LED RECESSED DOWNLIGHT	6	120-277 VAC	32	SURFACE	2000	2700K	NORA / NHMIC-685-LE4* / NRM-611L-85-35-HZW	
EX1	LED EXIT SIGN	2	120-277 VAC	5	CEILING	-	LED	EXITRONIX S900 SERIES (PART NO. TBD)	
EX2	LED EXIT EGRESS SIGN	-	120-277 VAC	-	CEILING	410	4000K	DUAL LITE LED EXIT EGRESS SIGN (PART NO.)	EV EMERGENCY LIGHT, MOUNTING TYPE: WALL OR CEILING MOUNT, COLOR: WHITE, NUMBER OF LAMPS: 2, BATTERY TYPE: NICKEL METAL HYDRIDE (NIMH), BATTERY RUNTIME: 90 MIN, VOLTAGE RATING: 120/277 VAC, ENVIRONMENTAL CONDITIONS: DRY LOCATION
OS2	OCCUPANCY SENSORS	AS REQ'D	120 VAC	-	SURFACE/WALL	-	-	SENSORSWITCH / AS REQ'D	LIGHTING CONTROL, SEE DRAWING NOTES
C1	CANOPY LIGHT	1	120 VAC	94	SURFACE/UB	5000/7500/10,000	3K/4K/5K	LITHONIA LED ALO SWW2 UVOLT PE PIR DOB M2 (Dark Bronze)	3 POWER LEVELS, OCCUPANCY SENSOR, SWITCHABLE CCT
L2	5' LINEAR FIXTURE	16	120 VAC	49	PENDANT	4800	4000K	ECOSENSE OXYGEN 3.1	DIST. SEATAC LIGHTING AND CONTROLS
T2	4' TRACK LIGHT PACK	1	120 VAC	38	SURFACE	800LM/HEAD	2700K	NORA LIGHTING NTL-850	

LEGEND

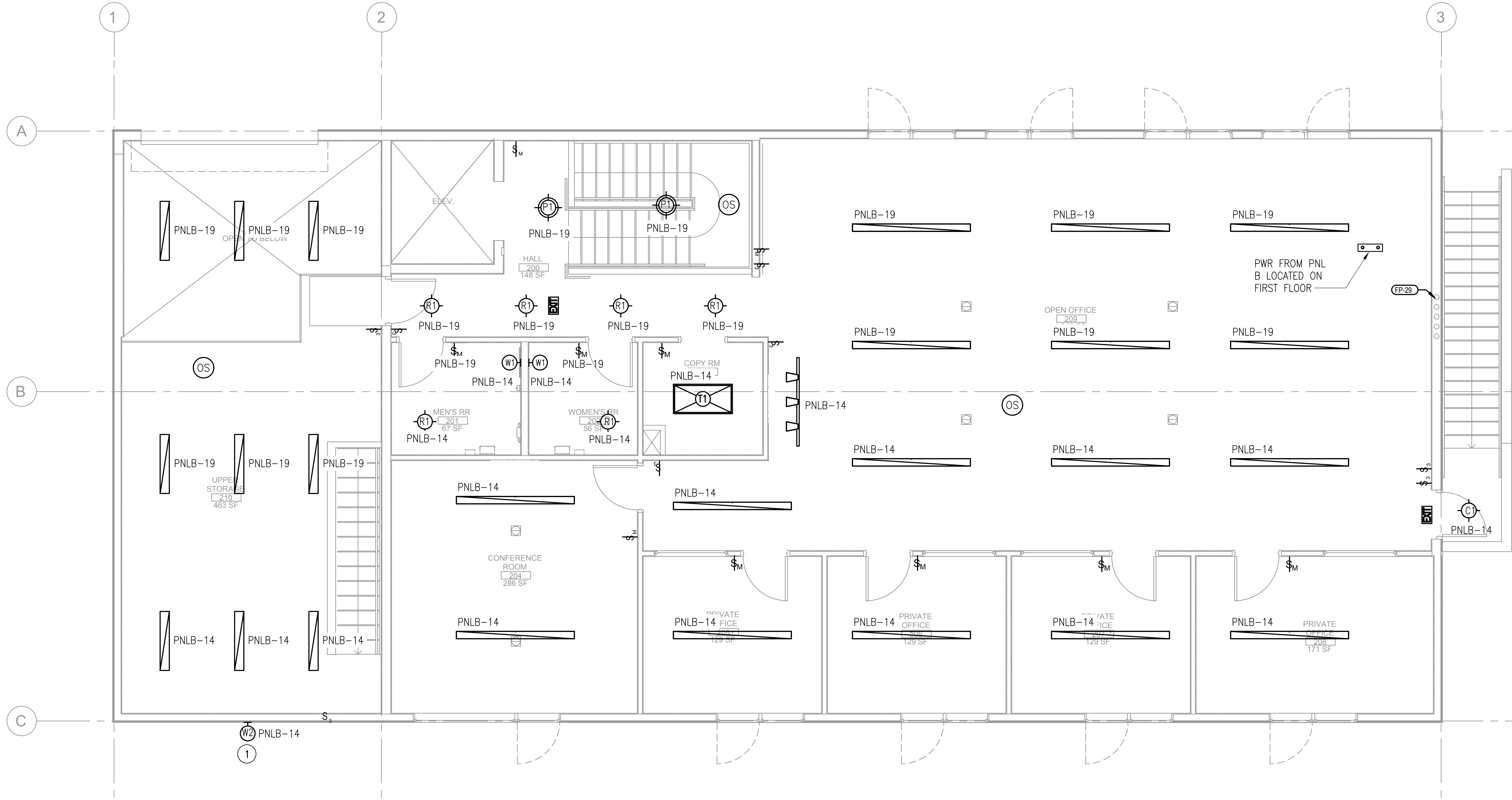
REFER TO SHEET E1.0 FOR PROJECT SYMBOLS AND NOTES.

GENERAL NOTES

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KEYED NOTES

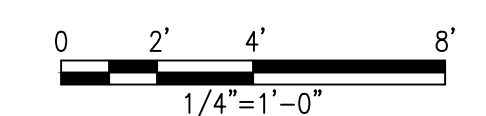
- 1 FOR EXTERIOR LIGHTING FIXTURES ELEVATION HEIGHT REFER TO SHEET A4.00.



SECOND FLOOR LIGHTING PLAN 1
SCALE: 1/4" = 1'-0" E4.1

ISSUE LIST	
NO.	DESCRIPTION
1	BID ISSUE
2	BID ADDENDUM 2

PROJECT NO.: 0070800.01
PROJECT MGR.: M. AZEEM
DRAWN BY: R. PINLAC
CHECKED BY: J. NORTON



April 2, 2024

Bid Period RFI

Project: **Tulalip New Utilities building**
Project No. **A21-188**
Bid period RFI No.: 1

Date of RFI: March 26, 2024

RFI:

1. Can you please provide the liquidated damages amount.
2. What is the warranty term for this project as a whole?
3. Can you please direct me to the correct insurance spec to use for bonding purposes? I am unable to locate a complete insurance spec.
4. Section 083323 - Overhead Coiling Doors. There is no size shown, can you please advise.

RESPONSE:

1. **Liquidated Damages will be addressed in AIA A101 contract agreement. Language previously provided by The Tulalip Tribes of Washington is as follows: "Upon failure by the Contractor to submit an acceptable Construction Schedule within the time required by Section 18, or achieve substantial completion of each phase of construction in accordance with the Construction Schedule, the Contractor shall pay to the Owner, as liquidated damages and not as a penalty, the sum of seven hundred and fifty dollars (\$750.00) per day of delay or until such time as Substantial Completion of the Work as required by the 460 calendar days Construction Schedule is achieved. The Contractor and Owner agree that the liquidated damages amount is a reasonable forecast of just compensation for the harm caused by the Owner by the Contractor's breach for failure to meet construction schedule timelines."**
2. **Warranty Term will be addressed in AIA A101 contract agreement. It will be One Year.**
3. **Monetary Values are listed in Instructions to Bidders, Paragraph 3.4.3.7.3. Insurance Requirements previously provided by The Tulalip Tribes are as follows:
(1) "Insurance Policy Requirements.**

Each policy of insurance required to be purchased and maintained by the Contractor shall name the Tulalip Tribes and its members as primary and non-contributory additional insured's using the ISO general liability form CG 2010 11/85 edition or equivalent to include products and completed operations for all Contractors and Subcontractors Work. Each policy and respective Certificate of Insurance shall expressly provide a provision wherein no less than 30 days or (10 days in the event of cancellation for non-payment) prior written notice shall be given to the

Tulalip Tribes in the event of cancellation, non-renewal, expiration or material alteration of the coverage contained in such policy or evidenced by such Certificate of Insurance.

1.1 At least five (5) days prior to commencement of the Work or any portion thereof, and prior to the performance of any services hereunder, Contractor shall, for the purposes of protecting Owner against any claims, damages or expenses as a consequence of any acts and omissions on the part of Contractor and any of its Subcontractors of any tier in performing the Work, procure or cause or cause to be procured the required insurance coverage with insurance carriers (with and A.M. Best rating of A-VII or better) in form acceptable to Owner and shall maintain all such coverage in full force and effect through the terms of this agreement.

1.2 The Contractor, if requested, shall furnish the Tulalip Tribes a certified copy of any insurance policy or additional insured endorsement required to be purchased or maintained by the Contract Documents. In no event shall any failure to demand a certified copy of any required insurance or insured endorsement be construed as a waiver of the obligation of the Contractor to obtain insurance required to be purchased or maintained by the Contract Documents.

1.3 The Contractor shall maintain all insurance in the required amounts, without interruption, from the date of the execution of the Contract until three (3) years after the date of approval of the certificates of Contract Completion by the Tulalip Tribes. Failure to maintain the required insurance during the time specified shall be cause for termination of the Contract.

1.4 Insurance policies required to be purchased and maintained by the Contractor may include a reasonable loss deductible, which shall be the responsibility of the Contractor to pay in the event of loss.

1.5 The prompt repair or reconstruction of the Work as a result of an insured loss or damage shall be the Contractor's responsibility and shall be accomplished at no additional cost to the Tulalip Tribes.

(2) Waivers of Subrogation. The Tulalip Tribes and the Contractor waive all rights against each other for damages caused by fire or other perils to the extent of actual recovery of any insurance proceeds under any property insurance obtained pursuant to this Article or other property insurance applicable to the Work, except such rights as they have to proceeds of such insurance held by the Tulalip Tribes as fiduciary.

(3) Other Provisions.

3.1 Neither the Tulalip Tribes nor Contractor shall be liable to the other party or to any insurance company (by way of subrogation or otherwise) insuring the other party for any loss or damage to any building, structure or tangible personal property of the other occurring in or about the Work, if such loss or damage is covered by

insurance benefiting the party suffering such loss or damage or was required to be covered by insurance under terms of the agreement. Each party shall cause each insurance policy obtained by it to contain the waiver of subrogation clause.

3.2 Contractor shall indemnify, defend and hold the Tulalip Tribes harmless from all losses, damages, liabilities, fines penalties, cost (including clean-up cost) and expenses (including attorney's fees) arising from hazardous, toxic or harmful wastes, materials or substances, as defined by applicable law, deposited on or about the Project site by Contractor, Subcontractors, suppliers or materialmen or its or their agents or employees. Should any material that exhibits hazardous or toxic characteristics as defined in applicable law be brought onto the Project site by Contractor, Subcontractors, suppliers or materialmen or its or their agents or employees, that material will be handled, stored, transported and disposed of by Contractor in accordance with respective regulations and the best available technology. Should any such material be found on the Project site that was not brought onto the Project site by Contractor, Subcontractor, suppliers or materialmen or its or their agents or employees, Contractor shall immediately notify the Tulalip Tribes through the Engineer. Contractor is not responsible for losses, damages, liabilities, fines, penalties, costs including cleanup and expenses arising from hazardous, toxic or harmful wastes, materials or substances existing at the site prior to Contractor mobilization.

3.3 In the event Contractor fails to maintain any and all insurance required by this Contract during the entire life of this Contract, the Tulalip Tribes may at its option, and without waiver of other available remedies, purchase such insurance in the name of Contractor and deduct the cost of same from payments due Contractor."

- 4. The overhead coiling door at the "shed", door number 116B is 12' wide x 14' h. It will be power operated with manual backup, and locking. See project manual for additional information.**

ATTACHMENTS: None

Issued By:
Freiheit Architecture

Joel Riehl AIA NCAARB
Senior Architect

April 4, 2024

Bid Period RFI

Project: **Tulalip New Utilities building**
Project No. **A21-188**
Bid period RFI No.: 2

Date of RFI: March 26, 2024

RFI:

I have a few questions for the ceramic tile on the Utility Building, Tulalip Tribes job.

1. Will Salish be bidding straight to the tribe, or are we bidding to contractor?

RESPONSE:

1. **Please see attached portion of responsibility matrix from Sheet A0.01. Left column check boxes indicate "OFI" (owner-furnished, owner-installed) – TDS and Salish Networks for those items being contracted directly to the owner.**

Right column check boxes indicate "CFI" (contractor-furnished, contractor-installed). Note that systems integration will be amended to show TSI as sole vendor.

Contact for Salish Networks will be Scott Normore RCDD, EL-06, PM, Infrastructure Manager snormore@salishnetworks.com 360-716-8025

Contact for Tulalip Data Systems is Delano Cooper, IT Manager, dcooper@tulaliptribes-nsn.gov , 360-716-5122

ATTACHMENTS: Screen Cap – Responsibility Matrix, Div. 27 – Communications and Div. 28, Electronic Safety and Security

Issued By:
Freiheit Architecture

Joel Riehl AIA NCAARB
Senior Architect

Div. 27 - Communications					
27.001 - Connect data to Booster Pump	x				
27.001 - PLC Systems				x	
27.001 - PLC Network Switches	x				TDS Networks
27.001 - PLC Servers	x				TDS Networks
27.001 - Government Network switches/wifi	x				TDS Networks
27.001 - Government Network UPS	x				TDS Networks
27.001 - Data Room Network Rack	x				TDS Networks
27.001 - Conference Room AV equipment	x				TDS Networks
27.001 - Desktop Workstations/UPS, Printers, TVs	x				TDS Networks
27.001 - Copper and fiber cable	x				Salish Networks
27.001 - Cable TV equipment and cabling	x				Salish Networks
27.001 - Phones, Fax lines	x				Salish Networks
27.005 - Future Data Conduit				x	Salish Networks
27.001 - Systems Integration				x	Owner Preferred Vendors: TSI, Parametrix
Div. 28 - Electronic Safety and Security					
28.000 - Security	x				TDS Security
28.000 - Keyboxes, TimeClocks, Key Authorizers	x				TDS Security
28.000 - Door Controllers and associated wiring				x	TDS Security/ Salish Network Infrastructure
28.000 - Access Point Card Readers and associated wiring	x				TDS Security/ Salish Network Services
28.000 - Exterior Cameras	x				TDS Security
Div. 32 - Exterior Improvements					
32.004 - Site Fencing and Gates and modifications to				x	

April 4, 2024

Bid Period RFI

Project: **Tulalip New Utilities building**
Project No. **A21-188**
Bid period RFI No.: 3

Date of RFI: March 26, 2024

RFI:

I have a few questions for the ceramic tile on the Utility Building, Tulalip Tribes job.

1. Do you want rubber base (RB-1) on all walls in the 2 locker rooms (#111 Women's & #112 Men's Locker Rm), even the walls that are receiving ceramic wall tile? Sheet A3.04 called out for RB-1 at both of these rooms.
2. Are the showers in those 2 locker rooms prefabbed, or do they require ceramic floor and wall tile?
3. Does the wall, between the toilet and the sink in #111 Women's & #112 Men's Locker Rooms get ceramic wall tile? Sheet A4.05 does not show these two elevations.

RESPONSE:

1. ***Change tile walls to show tile module starting at floor, with tile extending down to floor. Use rubber base only at GWB walls – which is the wall at the door. GWB in restrooms and shower / locker rooms should be green board.***
2. ***Showers to be prefab units – color to be selected from mfr. Standard colors.***
3. ***The 3 walls surrounding the sink should all receive tile. Finish transitions should happen at inside corners.***
4. ***Men's Locker Room West (elevation to be changed), Women's Locker Room East, and short section of South Wall of Men's and Women's at door to be GWB with Rubber base. Outer face of side walls of showers adjacent to doors will be tile.***

ATTACHMENTS: None

Issued By:
Freiheit Architecture

Joel Riehl AIA NCAARB
Senior Architect

April 4, 2024

Bid Period RFI

Project: **Tulalip New Utilities building**
Project No. **A21-188**
Bid period RFI No.: 4

Date of RFI: March 27, 2024

RFI:

1. In addition to the below questions, can you please confirm which wages will apply to this project?

RESPONSE:

1. *Applicable wages can be found at [Tulalip TERO || Contractors – Wage Scale](#)*

ATTACHMENTS: None

Issued By:
Freiheit Architecture

Joel Riehl AIA NCAARB
Senior Architect

April 4, 2024

Bid Period RFI

Project: **Tulalip New Utilities building**
Project No. **A21-188**
Bid period RFI No.: 5

Date of RFI: April 3, 2024

RFI:

1. What is the construction duration?

RESPONSE:

1. ***Construction Duration can be found in the bid proposal form. It is 460 calendar days. This includes initial demolition of shop / office structure, construction of new office / lab structure, subsequent demolition of existing lab building, and sitework to convert that area to parking and washer shed.***

ATTACHMENTS: None

Issued By:
Freiheit Architecture

Joel Riehl AIA NCAARB
Senior Architect

April 10, 2024

Bid Period RFI

Project: **Tulalip New Utilities building**
Project No. **A21-188**
Bid period RFI No.: **6**

Date of RFI: April 4, 2024

RFI:

1. Please provide civil CAD file (earthwork cut/fill), if available.
2. Please provide structural CAD file (structural framing), if available
3. What is the cutoff date/time for substitution requests?
4. What is the cutoff date/time for RFI's?
5. What is estimated date for issuance of addendum?
6. Please provide geotechnical report referenced in Div 31 specs
7. Please confirm if the building is sprinklered, per project data on Sheet A0.01. If so, do you plan to issue Div 21 spec section(s)?
8. Where will the staff in current admin building be relocating during construction? Just wanted to confirm if any coordination is required, particularly if they are on or adjacent to the site. Also, please confirm that the cost for relocation (e.g. temp trailers, utility services) is by others.
9. Is there any benefit to providing a schedule that is shorter than stated schedule on the bid form?

RESPONSE:

1. **Not Available**
2. **Not Available**
3. **One week prior to bid due date**
4. **One week prior to bid due date**
5. **One week prior to bid due date (estimated)**
6. **Geotechnical Report has been distributed on 4/8/24**
7. **Building will be sprinklered per NFPA 13. This is expected to be vendor-design. This will be added to Sheet A0.01 under "Deferred Submittals". See "Fire Sprinkler Notes" on Sheet M1.0. See also "Fire Room" 118 on Sheet M2.0 and M2.1.**
8. **Lab staff members will continue in existing lab structure until demolition of existing shop and office building, and construction of new office / lab building is complete. During this time, other plant staff will be accommodated in temporary buildings at the North part of the plant site. Costs for relocation and temporary accommodation are outside the scope of this contract.**
9. **Assume schedule as given for purposes of bid. If there are cost or schedule benefits to be gained by accelerating the schedule, that can be considered post-award.**

ATTACHMENTS: None

Issued By:
Freiheit Architecture

Joel Riehl AIA NCAARB
Senior Architect

April 12, 2024

Bid Period RFI

Project: **Tulalip New Utilities building**
Project No. **A21-188**
Bid period RFI No.: 7

Date of RFI: April 10, 2024

RFI:

1. Please define scope of work regarding landscape / irrigation adjacent to building and along streets. Note that new grading / storm drainage impacts ditches.
2. Please coordinate location of the generator pad between Sheet E3.0 and Civil/Arch plans. Any differentiation in distance between pad and the building will impact the cost of feeder.
3. In the interest of competitive bidding environment, are there any approved equals to the Generac SD300 unit, per Note 11 on Sheet E3.0?
4. No generator specification has been provided in the specs. In reviewing the Generac SD300 spec sheet, there are several options that would typically be addressed via a formal spec section (e.g. fuel type, fuel capacity). Suggest providing a spec for the generator.
<https://www.generac.com/industrial/products/diesel-generators/cconfigured/300kw-diesel-generator>
5. What is status of building permit?
6. What is anticipated start date for construction?

RESPONSE:

1. ***Landscape and irrigation work, as such, is not in the scope of this project. Civil indicates site to be graded to top of new curbs – at parking lot edges and edge of pavements. Drainage impact on ditches is noted. Drainage Report to be submitted as part of permit review.***
2. ***Electrical Sheet E3.0 will be modified to match Civil and Architectural Site Plans with Bid Addendum 1, 4/16/24.***
3. ***Bidders may submit approved equals from the vendors based on the Generac SD300 Specs.***
4. ***Additional information will be provided with Bid Addendum 1 issue on 4/16/24.***
5. ***Building Permit is not yet issued, pending completion and acceptance of drainage report.***
6. ***Q2 of 2024. As soon as possible after award of contract and securing permits. Note that execution of contract is due within 90 days of bid opening.***

ATTACHMENTS: None

Issued By:
Freiheit Architecture

Joel Riehl AIA NCAARB
Senior Architect

April 12, 2024

Bid Period RFI

Project: **Tulalip New Utilities building**
Project No. **A21-188**
Bid period RFI No.: **8**

Date of RFI: April 5th, 2024

RFI:

1. Is the shower pan in the locker rooms fiberglass or should it be priced with a mud base with tile?
2. The Finish Plan A3.05 show the Restrooms wall as TL-03 and there is no spec for a TL-03 on the Finish Schedule. Do you think they meant TL-02?
3. It's not clear what they want for the base in the restrooms. It shows a 6x24. Do they want that in field tile with a Schluter Edge on top? They do make a 4x12 bullnose which I could figure, or we could go the expensive route with 6x12 cove base. Please advise.
4. Specs call for 2 types of soap dispensers, 1 deck-mounted, one wall. Drawings only show wall mount, marked TR-08. Which is correct?
5. Schedule page A9.00 lists multiple paper towel dispensers with no marking that mention which model. Can you clarify?
6. Opening 118 is missing a door elevation on the door schedule (A9.30), and it is assigned hardware set #00 in 087100 which includes hardware for an OH Coiling Door. The floor plan (A3.01 shows this opening to be an exterior swinging door. Please advise correct door elevation and hardware set.
7. Specifications 081113: 2.6-A.5 indicates that exterior units are to include "shop finish primed surfaces with Sherwin Williams Acrolon 218 HS Acrylic Polyurethane." Can you confirm that exterior doors and frames are to be factory finished? Will you accept factory primed for painting in the field? Please advise.
8. Please clarify the extent of ACT-1 in the building. The RCPs only show WD-1, and even though the finish schedule calls out a ceiling tile for ACT-1 it appears that all of the ceilings are GWB with the exception of the WD-1 ceiling in Lobby 100. Please advise.
9. A0.01 General Notes – Responsibility Matrix shows allowances for
 - 2.191 Demo Maintenance Office (Question 1 below)
 - 2.191 Demo Lab Building (Question 1 below)
 - 2.206 Demo Paving (Question 1 below)
 - 2.212 Haz Mat Testing & Abatement (Note below)
 - 10.426 Main Building Sign (Note below)
 - 10.605 Window Blinds (Note below)
 - 11.00 Appliances (Question 2 below)

Question 1. Are these to be determined by Contractor or will this be established like the other categories were? Please advise.

Question 2. Appliances in the breakroom appear to be shown in plans and listed in specifications. Appliances in Janitor's closet are not called out or specified. Is an allowance to be provided by ownership or establish in proposal? Please advise.

10. Plan Sheet A3.07 Lab Equipment Schedule Lists FP-04 as CFCI. Please provide Specifications.

11. Plan Sheet A3.07 Lab Equipment Schedule Lists FP-05 as CFCI. Is this the equipment or just a place holder for the equipment? Please provide Specifications.
12. Plan Sheet A3.07 Lab Equipment Schedule Lists FP-10 as CFCI. Please provide Specifications.
13. Specification Section 087100, Section 3.7 HW Set: 01 for storefront door 100A calls for 612 and US10 finish, which is a Bronze finish. Please confirm that door hardware is to be bronze with a black finished storefront.
14. Specification section 084113, 2.8 states Black Anodized. Sheet A9.30 Door Section states a painted finish. Please clarify Storefront finish desired.
15. Is there a shade cloth preference for the window coverings?

RESPONSE:

1. ***Prefab shower "SH-1" is added to Plumbing Fixture Schedule on Sheet M1.1 of Bid Addendum 1 Drawing Set. Specified model is "Bestbath" model LSS4038A5T* L/R.***
2. ***Drawings are revised to show TL-1 and TL-2 only. TL-1 is floor tile, found at the Level 2 Restrooms only. TL-2 is wall tile at both the 2nd floor restrooms and 1st floor locker / shower rooms. (Restroom and Locker Room elevations (and RCPs) will be revised to indicate 8'-0" ceiling height, for (8) even tile courses.***
3. ***Tile base at GWB walls in restrooms and locker rooms can be TL-2 cut to 6" high, with Schluter Jolly tile edge. Elevations will be revised accordingly.***
4. ***Specs will be revised to show wall-mount only.***
5. ***Basis of design model number will be added to Accessories and Hardware schedule on sheet A9.00***
6. ***Door 118 is same in function as door 107 and should receive the same hardware group; 17. Door schedule will be revised accordingly.***
7. ***Factory priming as specified and field finishing with the Sherwin Williams Acrolon 218 HS Acrylic Polyurethane or similar approved is acceptable.***
8. ***ACT is not used in the building.***
9. ***It is not clear what is meant by "will these be established like the other categories were". However it is intended that the contractor will be responsible for demolition and disposal of the existing structures (phased, as indicated), and associated hazardous materials testing, rodent abatement, or any other associated requirements, and for associated permits as a project cost and obtain pricing as necessary for an accurate bid.***

Regarding appliances, This information will be added in Bid Addendum 1 Drawings.

10. ***To be confirmed.***
11. ***Equipment. To be confirmed.***
12. ***50" diagonal high resolution monitors. No specification. Price and provide as submittal.***
13. ***Revise BHMA number 612 to read 626; 606 to read 626; US10 to read US 26D.***
14. ***Aluminum Storefront Door 100A to be revised to state "Factory Finish" – and refer to spec section 084113 for finish information.***
15. ***None selected yet. To be selected from manuf.'s standard range..***

ATTACHMENTS: None

Issued By:
Freiheit Architecture

Joel Riehl AIA NCAARB
Senior Architect

April 15, 2024

Bid Period RFI

Project: **Tulalip New Utilities building**
Project No. **A21-188**
Bid period RFI No.: 9

Date of RFI: April 15th, 2024

RFI:

1. Please confirm that the pressure washer room does not require fire protection.
2. A new gate is shown near SE corner of new building. What type of gate is required (e.g. Swing, roller)? Note that there is no existing roller slide gate near this location.
3. No gate or modifications to existing fence is shown at the entrance to the site at NW driveway. Suggest confirming scope of work at this location.
4. If any work above requires power, please coordinate with electrical plans as needed.
5. A new wall is noted at drive lane adjacent to existing concrete tanks. Please define type of wall construction (e.g. modular, CIP concrete, footing, reinforcement req's)
6. The bid form has a single line item for allowances, which is tied to spec section 01 21 13. One of the specified allowances is for hazardous material testing and abatement. This allowance would correspond to Item 2.212 on Sheet A0.01. No other allowances are mentioned in this spec section to address items 2.191 and 2.206 on Sheet A0.01.
 - Question 1: Please modify spec section 01 21 13 to address matrix items 2.191 and 2.206 on Sheet A0.01 (i.e. add more allowances).
 - Question 2: What does matrix item 2.206 on Sheet A0.01 specifically mean? Note that there is no civil demo plan that defines the limit of construction, so we are interpreting the bid documents that all existing pavements (asphalt, sidewalks) get removed. Not sure what the terminology "... at perimeter" means.
7. Spec section 01 21 13 has an allowance for storage area shed racking, however the matrix on Sheet A0.01 shows this as OFOI.
 - Question 1: Please revise the bid documents as needed. Note that there are no Division 13 specs provided.
 - Question 2: What does racking mean (e.g. storage shelving)?
8. Please confirm that the wall noted at HVAC pad is modular block, similar to wall at NE parking lot.
9. Coordinate point of termination between civil and mechanical plans for the domestic and fire water lines.
10. Coordinate storm drain connections on Sheet C1.40 (1 EA) with downspout locations shown on Sheet A4.00 (looks like 3 EA).
11. Sheet C1.40 shows a connection to building roof downspout at SE corner of the building, however the high end of roof slope is at this side of the building. Just wanted to confirm scope at this location. Is this intended to be an area drain to address what appears to be landscaping at this corner of the building?
12. Please confirm that there are no bid alternates.
13. For bid purposes, please specify the approximate distance from property line to the power pole located across Mission Beach Road.
14. Force Main Questions:
 1. Please specify pipe size required.

2. Is this work required due to grade changes (i.e. the existing line depth is less than 6')?
15. Booster Pump/Pressure Washer Questions:
1. Please clarify purpose for the pressure washer system, so we better understand the system (e.g. work within booster pump house, air gap water supply system).
 2. The matrix on Sheet A0.01 (item 22.001) has the GC relocating the power wash system. Please provide cut sheet info for the system so we better understand the piece of equipment (e.g. dimensions, weight, power reqs, piping connections).
 3. Does this system have a time constraint for being off-line?
 4. Sheet C.140 has note about connecting new booster pump piping to existing air gap water supply system, however the scope of work does not appear to be defined on the drawings.
16. Please confirm that underground power and data conduit is direct bury (i.e. no concrete ductbank required).
17. Please coordinate power feed run to generator between civil and electrical plans. It would appear that it makes sense to run power from electrical room through the building as much as possible in lieu of trenching through parking lot but confirm.
18. Please clarify who is responsible for the following items:
1. Effluent flow do transmitter.
 2. Electrical vault for dissolved oxygen flow transmitters.
 3. Flow signals.
 4. Relocate effluent flow transmitter.
19. Per matrix on Sheet A0.01, systems integration is CFCI (item 27.001), however there are no apparent bid documents for this work (e.g. Div 27 spec section, drawings).
20. Per matrix on Sheet A0.01, PLC systems is CFCI (item 27.001), however there are no apparent bid documents for this work (e.g. Div 27 spec section, drawings).

RESPONSE:

1. **Confirmed.**
2. At SE corner of new building, adapt and reinstall existing roller gate as shown on site plan.
3. Existing fence and gates to remain along NW side of site at 30th Dr. NW.
4. Gates are manually operated.
5. Will confirm and add to Addendum 1 if indicated.
6. Question 1: Bids from abatement and demolition subcontractors should be obtained for those items. Asbestos report is uploaded to bdx and Tulalip Projects sites.
Question 2: See "Approx limits of construction: 20,550 SF or 0.47 ac." Dashed line on Sheet C1.30. That is the limit of regrading and new paving. It can be assumed that no existing paving is left in that area.
7. Question 1: This will be CFCI. Matrix will be changed
Question 2: Heavy Duty Steel Storage Shelving. At Perimeter Walls
8. Confirmed.
9. Use five feet outside building perimeter as dividing line between site utilities MEP scope.
10. Coordination will be picked up before Construction Issue
11. Downspout connection will be moved to North side of building – picked up before Construction Issue
12. Confirmed. No bid alternates.
13. Please approximate using Google Earth or other means.
14. Answer pending
15. Answer pending
16. Confirmed – direct bury
17. Please see revised electrical site layout E3.0 in Addendum Drawings.
18. Note that integration scope is assigned to TSI – contact Mitch Stewart.
mitchs@tsicontrols.com cell 425-320-7632
19. See answer 18 above
20. See answer 18 above

ATTACHMENTS: None

Issued By:
Freiheit Architecture

Joel Riehl AIA NCAARB
Senior Architect

April 15, 2024

Bid Period RFI

Project: **Tulalip New Utilities building**
Project No. **A21-188**
Bid period RFI No.: 10

Date of RFI: April 15th, 2024

RFI:

1. S3.02 elevation 12 – East Elevation – Exterior Stair – This Elevation is not given on Architectural or Civil Sheets. Please Advise. (see attached)
2. Detail 6, 7, & 12 on S4.11 Refer to top of Stem wall or Retaining wall 'as per Arch' – This Elevation is not given on Architectural or Civil Sheets. Please Advise. (see attached)
3. S2.01 Foundation Plan Does not show a footing or thickened slab under the portion of Exterior wall that runs from Gridline A to approximately Gridline B.5 on Gridline 3. There is a Hold-down Number 4 that indicates a 9" embedment. Please provide a section at this exterior wall. (see attached)
4. Architectural Set Sheet A4.00 Detail 3 Shows Steel stairs with metal picket handrail. Structural sheet S3.02 Detail 12 shows the exterior wall with Framed exterior wall with 4x6 post. Please Advise If wood framed wall is needed.
5. 1 on A3.01 Floor Plan – Level 01 calls out Grated Steel Treads per vendor's engineered Design. Section 055100 – Design-Build Steel Stairs Part 1, 1.1, B indicates Concrete fill for Metal Pan treads. Please advice.
6. In regards to the " Utility Building " Project, I was able to Identify Fixtures on sheet E4.1 in the following rooms, Upper Storage , Conference Room, Private Offices. These fixtures were not identified on the legend. Please provide the ID and Manufacturer.
7. In regards to the " Utility Building " Project, I was able to Identify Fixtures on sheet E4.0 in the following rooms, Elevator Machine Room , Side Shed, Storage Room, Data Room. These fixtures were not identified on the legend. Please provide the ID and Manufacturer
8. Specification 123200.2.1.A notes that the basis of design for manufactured wood casework is Lanz Cabinets with a Natural Beech clear finish, however the Finish Schedule on A9.00 specifies different casework finishes. Miscellaneous finish plans seem to provide the following direction. Please confirm that the below assumptions are correct, clarify where there are no callouts, or provide alternate direction for desired casework finishes:
 - a. Lobby 100: PL-1 = Veneer Art 974-RG Brown Annigre with Rift Grain Finish YES
 - b. Billing Office 101: PL-1 = Veneer Art 974-RG Brown Annigre with Rift Grain Finish YES
 - c. Breakroom 102:
 - i. PL-1 Uppers = Veneer Art 974-RG Brown Annigre with Rift Grain Finish YES
 - ii. No Callout for Lowers = Lanz Natural Beach with Clear Finish, or PL-1 to match Uppers? Please advise. PL-1

- d. Janitor Closet 104: PL-5 = Wilsonart Designer White Style #0354 with Anti-Microbial Finish YES
- e. Laboratory 105:
 - i. PL-5 Uppers = Wilsonart Designer White Style #0354 with Anti-Microbial Finish YES
 - ii. PL-5 Island = Wilsonart Designer White Style #0354 with Anti-Microbial Finish YES
 - iii. No Callout for Lowers = Lanz Natural Beach with Clear Finish, or PL-5 to match Uppers and Island? Please advise. PL-5
- f. Copy Room 203:
 - i. PL-1 Uppers = Veneer Art 974-RG Brown Annigre with Rift Grain Finish YES
 - ii. No Callout for Lowers = Lanz Natural Beach with Clear Finish, or PL-1 to match Uppers? Please advise. PL-1
- 9. The project Specifications include (1) page of the sample AIA A101 Document. Please provide the remainder of this document, if available.

RESPONSE:

- 1. ***Top of wall to occur 6" minimum above exterior finish grade and top of interior floor elevation, unless shown greater on architectural drawings.***
- 2. ***Top of wall to occur 6" minimum above exterior finish grade and top of interior floor elevation, unless shown greater on architectural drawings.***
- 3. ***See Bid Addendum 1 drawings dated 4/16/24 for footing under Grid 3 exterior wall. Locally increase 10" footing depth to 1'-0" at holddown to provide 3" minimum cover.***
- 4. ***East Stairway is changed to vendor design metal fabricated stair with canopy at top landing. Structural Drawings are revised to match Architectural with Bid Addendum 1 issue.***
- 5. ***Spec Section 055100 is revised to indicate Steel Grate Treads with Bid Addendum 1.***
- 6. ***Answer Pending***
- 7. ***Answer Pending***
- 8. ***Section 123200 to be revised for Bid Addendum 1. Finishes as follows:***
 - a. ***Lobby 100: PL-1 = Veneer Art 974-RG Brown Annigre with Rift Grain Finish***
 - b. ***Billing Office 101: PL-1 = Veneer Art 974-RG Brown Annigre with Rift Grain Finish***
 - c. ***Breakroom 102: PL-1 Uppers = Veneer Art 974-RG Brown Annigre with Rift Grain Finish, PL-1 lowers***
 - d. ***Janitor Closet 104: PL-5 = Wilsonart Designer White Style #0354 with Anti-Microbial Finish***
 - e. ***Laboratory 105: PL-5 Uppers = Wilsonart Designer White Style #0354 with Anti-Microbial Finish, PL-5 Island, PL-5 Lowers.***
 - f. ***Copy Room 203: PL-1 Uppers and Lowers = Veneer Art 974-RG Brown Annigre with Rift Grain Finish***
- 9. ***Remainder of AIA A101 contract form not available at this time.***

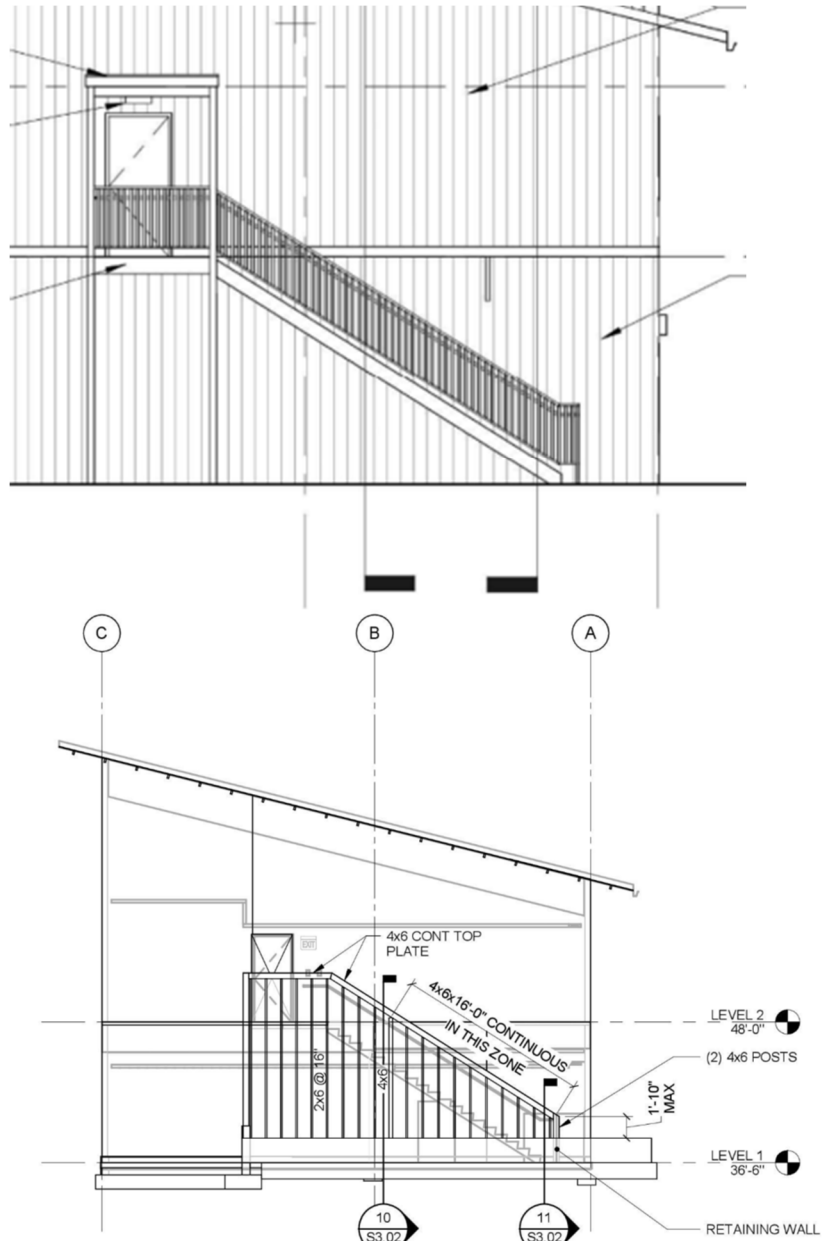
Attachments: Framing RFI #2 (Exterior Stair)

Issued By:
Freiheit Architecture

Joel Riehl AIA NCAARB
Senior Architect

Framing RFI #2

Architectural Set Sheet A4.00 Detail 3 Shows Steel stairs with metal picket handrail. Structural sheet S3.02 Detail 12 shows the exterior wall with Framed exterior wall with 4x6 post. Please Advise If wood framed wall is needed.

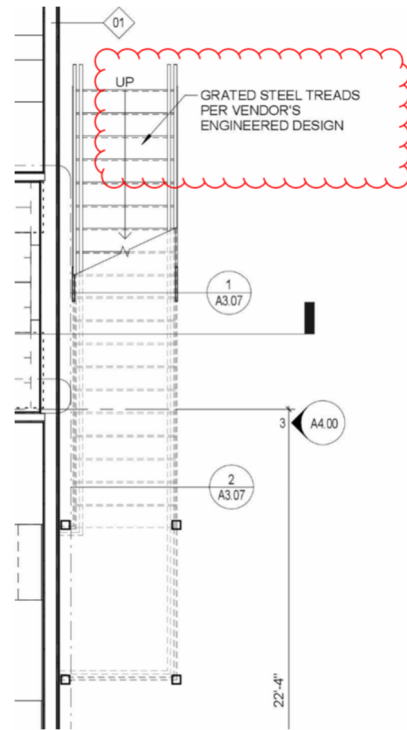


NOTES:
 1. EXTERIOR STUDS AND JAMBS MAY HAVE BORED HOLES PER 12/S5.03 BUT SHALL NOT BE NOTCHED.

12 EAST ELEVATION - EXTERIOR STAIR

1/8" = 1'-0"

1 on A3.01 Floor Plan – Level 01 calls out Grated Steel Treads per vendor’s engineered Design. Section 055100 – Design-Build Steel Stairs Part 1, 1.1, B indicates Concrete fill for Metal Pan treads. Please advice.



April 17, 2024

Bid Period RFI

Project: **Tulalip New Utilities building**
Project No. **A21-188**
Bid period RFI No.: 11

Date of RFI: April 16th, 2024

RFI:

1. A new wall is noted at drive lane adjacent to existing concrete tanks. Please define type of wall construction (e.g. modular, CIP concrete, footing, reinforcement reqs.).
2. Please confirm that the wall noted at HVAC pad is modular block, similar to wall at NE parking lot.
3. Coordinate point of termination between civil and mechanical plans for the domestic and fire water lines.
4. Coordinate storm drain connections on Sheet C1.40 (1 EA) with downspout locations shown on Sheet A4.00 (looks like 3 EA).
5. Sheet C1.40 shows a connection to building roof downspout at SE corner of the building, however the high end of roof slope is at this side of the building. Just wanted to confirm scope at this location. Is this intended to be an area drain to address what appears to be landscaping at this corner of the building?
6. For bid purposes, please specify the approximate distance from property line to the power pole located across Mission Beach Road.
7. Force Main Questions:
 1. Please specify pipe size required.
 2. Is this work required due to grade changes (i.e. the existing line depth is less than 6')?
8. Booster Pump/Pressure Washer Questions:
 1. Please clarify purpose for the pressure washer system, so we better understand the system (e.g. work within booster pump house, air gap water supply system).
 2. The matrix on Sheet A0.01 (item 22.001) has the GC relocating the power wash system. Please provide cut sheet info for the system so we better understand the piece of equipment (e.g. dimensions, weight, power reqs, piping connections).
 3. Does this system have a time constraint for being off-line?
 4. Sheet C.140 has note about connecting new booster pump piping to existing air gap water supply system, however the scope of work does not appear to be defined on the drawings.
9. Please confirm that underground power and data conduit is direct bury (i.e. no concrete ductbank required).
10. Please coordinate power feed run to generator between civil and electrical plans. It would appear that it makes sense to run power from electrical room through the building as much as possible in lieu of trenching through parking lot but confirm.
11. Please clarify who is responsible for the following items:
 1. Effluent flow do transmitter.
 2. Electrical vault for dissolved oxygen flow transmitters.
 3. Flow signals.
 4. Relocate effluent flow transmitter.

12. Per matrix on Sheet A0.01, systems integration is CFCI (item 27.001), however there are no apparent bid documents for this work (e.g. Div 27 spec section, drawings).
13. Per matrix on Sheet A0.01, PLC systems is CFCI (item 27.001), however there are no apparent bid documents for this work (e.g. Div 27 spec section, drawings).

RESPONSE:

1. ***This is a modular block wall, as shown on Sheet C2.01 – Details (Civil)***
2. ***This is a modular block wall, as shown on Sheet C2.01 – Details (Civil)***
3. ***Will be done with Conformed Drawings, should have little effect on bid price.***
4. ***Two additional roof downspout connections and approximately 65 LF 4" CPE Storm main will be added, will be shown with Conformed Drawings***
5. ***Storm connection to roof downspout at SE Corner and 65 LF 4" CPE Storm main to be eliminated.***
6. ***For purposes of bid, assume 58 feet from property line to power pole, with 17 Sq Yd of asphalt trench restoration.***
7. ***Record information provided by Owner did not show the size or material of the force main. New forcemain is due to reduction in cover over pipe due to new site grading.***
8. ***The booster pump/ pressure washer is an existing system located in the existing lab building that is to be relocated to the new pumphouse. System is a packaged VFD pump station, TigerFlow E181112 supplied by Cascade Machinery & Electric, 230V, 3 Ph, 60 Hz, 5 HP, with VFD control panel, Model TF-185 NSF-61 bladder tank, 185 gallons, and a 225 gallon plastic storage tank. We suggest you inspect the system yourself. Down time for the pressure washer system should not exceed 3 days.***
9. ***No concrete duct bank required, to our knowledge.***
10. ***Civil plans show the conduit run as specified by owner/project team during development of design.***
11. ***System requirements came from Tribal IT department, will need to be clarify who is responsible for these systems. Contact for integration questions is Mitch Stewart at TSI mitch@tsicontrols.com. GC is to subcontract integration scope to TSI Controls. Responsibility generally as follows:***
 1. ***TSI supply flow transmitter, Electrical contractor install***
 2. ***By Contractor and electrical contractor***
 3. ***Electrician***
 4. ***Electrician******A detailed scope and price for this work is expected to be available by Monday, April 22nd, 2024 and will be distributed as early as possible.***
12. ***See answer to number 11, above.***
13. ***See answer to number 11, above.***

Attachments: None

Issued By:
Freiheit Architecture

Joel Riehl AIA NCAARB
Senior Architect

April 17, 2024

Bid Period RFI

Project: **Tulalip New Utilities building**
Project No. **A21-188**
Bid period RFI No.: 12

Date of RFI: April 16th, 2024

RFI:

1. Specification Section 260000 1.1 notes to provide temporary service to existing systems as required to maintain continuous operation without reducing equipment efficiency, and to coordinate the extent of temporary services with the engineer. Please provide the engineer's clarifications of temporary services required for the project, inclusive of power and telecommunications.
2. Please confirm that the Pressure Washer Room and the Pump House are the same room.
3. Please provide electrical, plumbing, and structural design documents for the Pressure Washer Room/Pump House building.
4. M3.0 shows 10" ductwork down to a fume hood in the new Lab. Will this fume hood be an existing, reused hood which is currently installed in the existing Lab onsite, or will this be a new hood? If new, please provide specifications.
5. A4.05 Locker Room Elevations and A6.00 Restroom Enlarged Plans show toilet partitions/pilasters with doors at the Locker Rooms, however there is no specification for these partitions. Please provide a specification or product for the toilet partitions.
6. Since the contract that was provided in the bid documents is a standard sample AIA A102/201, we are assuming the actual contract will be negotiated with mutually acceptable terms and include a limited waiver of sovereign immunity. Please confirm.

RESPONSE:

1. **Temporary utilities are responsibility of Contractor. Note phasing as indicated in Architectural and Civil site plans.**
2. **They are one and the same.**
3. **Please see Civil Utility Plan C1.40 for site utilities, and MEP sheets M3.0 and E3.4. Please visit existing lab building to look at equipment and utilities. Existing documentation is not available. Pumps are on a skid, and tank separate. See attached photos below.**
4. **The fume hood is to be new equipment. Make and Model number are given in Lab Equipment Schedule on Sheet A3.07. Please obtain information from manufacturer.**

Attachments: Two photos of existing washer booster pump closet

Issued By:
Freiheit Architecture

Joel Riehl AIA NCAARB
Senior Architect

Attachement:



April 18, 2024

Bid Period RFI

Project: **Tulalip New Utilities building**
Project No. **A21-188**
Bid period RFI No.: 13

Date of RFI: April 16th, 2024

RFI:

1. I have noticed that the lighting counts do not match up with the counts they have provided on the lighting schedule.

Do you know who is to provide the Lighting? I want to make sure that they are all being accounted for.

Also do you have the preferred vendor contact information?

RESPONSE:

1. ***Please see attached lighting schedule and Addendum 2 electrical sheets. Manufacturers are listed. Please contact mfr for local distributor information.***

Attachments: [Lighting Plans, sheets E4.0 and E4.1](#)

Issued By:

Freiheit Architecture

Joel Riehl AIA NCAARB

Senior Architect

Attachement:

FIRST FLOOR LIGHTING FIXTURE SCHEDULE

ID	DESCRIPTION	QTY	VOLTAGE	VA	MOUNTING	LUMENS	LED COLOR TEMP	MANUFACTURER/CAT. NO.	NOTES
W1H	WALL MOUNTED - LED VANITY FIXTURE	2	120-277 VAC	39	SURFACE/WALL	2400	3000K	LINEA LIGHTING/LL-SC1042/LL-SC1043/LL-SC1044	
W2H	WALL MOUNTED EXTERNAL LED FIXTURE	8	120-277 VAC	27	SURFACE/WALL	2400	3000K	AFX DEXTER LED OUTDOOR SCONCE/DEXW SERIES	
L	4' LED LINEAR FIXTURE	16	120-277 VAC	-	SURFACE/WALL	4000K		LITHONIA FMLWL 48 480	
T1	2'X4' LED RECESSED DIRECT\INDIRECT	13	120-277 VAC	50	SURFACE	5705	3500K	CORONET /TDCW LED-2X4-LTGI-COLOR-90CRI	
P	PENDANT LIGHT	2	120-277 VAC	39	PENDANT	-	4000K	VISUAL COMFORT & CO 700TDWDS LED 90 CRI 3000K 120V	
R1	6" LED RECESSED DOWNLIGHT	27	120-277 VAC	-	SURFACE	-	2700K	NORA / NHMIC-685-LE* / NRM-611L-85-35-HZW	
EXIT	LED EXIT SIGN	6	120-277 VAC	5	CEILING	-	LED	EXITRONIX S900 SERIES (PART NO. TBD)	
EXIT	LED EXIT EGRESS SIGN	1	120-277 VAC	-	CEILING	410	4000K	DUAL LITE LED EXIT EGRESS SIGN (PART NO.)	EV EMERGENCY LIGHT, MOUNTING TYPE: WALL OR CEILING MOUNT, COLOR: WHITE, NUMBER OF LAMPS: 2, BATTERY TYPE: NICKEL METAL HYDRIDE (NIMH), BATTERY RUNTIME: 90 MIN, VOLTAGE RATING: 120/277 VAC, ENVIRONMENTAL CONDITIONS: DRY LOCATION
OS2	OCCUPANCY SENSORS	AS REQ'D	120VAC	-	SURFACE/WALL	-	-	SENSORSWITCH / AS REQ'D	LIGHTING CONTROL, SEE DRAWING NOTES
T	4' TRACK LIGHT PACK	2	120 VAC	38	SURFACE	800LM/HEAD	2700K	NORA LIGHTING NTL-850	

LEGEND

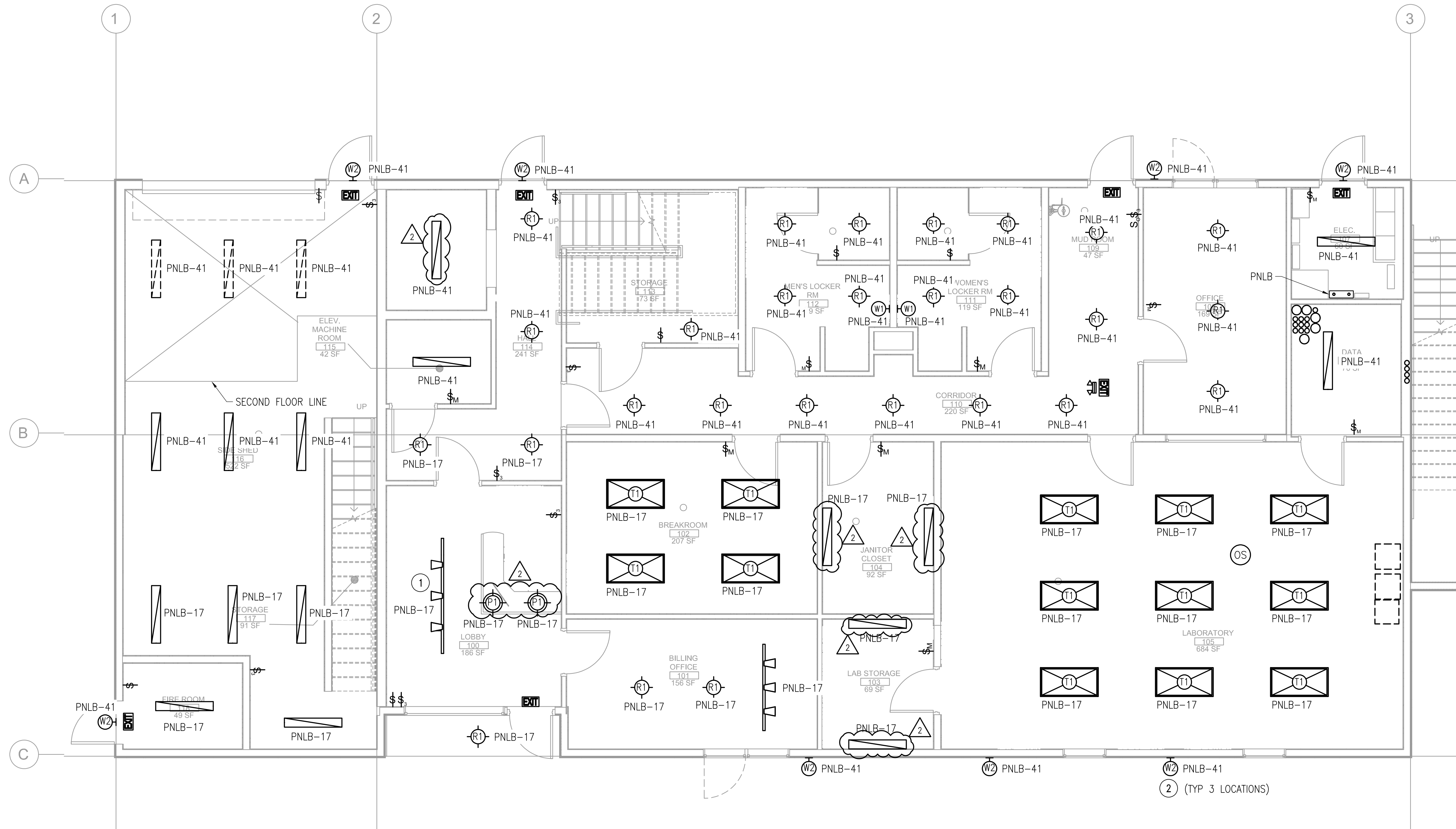
REFER TO SHEET E1.0 FOR PROJECT SYMBOLS AND NOTES.

GENERAL NOTES

- ALL CONDUIT ROUTING IS DIAGRAMMATIC. ELECTRICAL CONTRACTOR SHALL DETERMINE THE BEST ROUTING PATH AND CIRCUIT COMBINATIONS BASED ON FIELD CONDITIONS AND ELECTRICAL CODES.
- ALL NEW FEEDER AND BRANCH CIRCUIT CONDUCTORS TO BE TYPE THHN COPPER UNLESS OTHERWISE NOTED.
- ALL BRANCH CIRCUIT CONDUCTORS TO BE SIZED #12 AWG UNLESS OTHERWISE NOTED ON THE PLANS.
- INSTALL ALL STAIRWELL MOTION SENSORS FACING DIRECTION OF STAIRS.
- PAINT ALL CONDUIT AND DEVICE BOXES TO MATCH WALL AND CEILING COLORS.
- TOTAL CONNECTED LIGHTING LOADS (TOTAL FIXTURES CONNECTED TO A SINGLE CIRCUIT) SHALL NOT BE MORE THAN 16A FOR 20A CIRCUITS OR 12A FOR 15A CIRCUITS. SEE SHEET E5.0 FOR PANELBOARD SCHEDULES CIRCUIT ASSIGNMENTS.
- ALL EXTERIOR LIGHTS ARE EQUIPPED WITH PHOTOCELL FOR COMING ON AT DUSK AND GOING OFF AT DAWN. INSTALL LIGHT SWITCH DIGITAL TIMERS CONTROLLING OUTSIDE LIGHTS TO TURN THE LIGHTS OFF AT 11:00 PM UNTIL 6:00 AM.
- ALL LIGHTING AND CONTROLS INSTALLED SHALL BE FUNCTIONALLY TESTED AND A WRITTEN REPORT INCLUDING THE RESULTS BE PROVIDED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL.
- JUNCTION BOXES ARE NOT SHOWN. CONTRACTOR SHALL USE AS NEEDED IN ACCORDANCE WITH NEC 358.26.
- MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND COVERED FINISHED WITH ONE COVER PLATE U.N.O.
- WASHINGTON STATE NON-RESIDENTIAL ENERGY CODE INTERIOR LIGHTING SUMMARY ATTACHED SEPARATELY.
- NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, SPRINKLERS, HVAC, AND/OR EXISTING CONDUIT, PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN ARCHITECTS PROPOSED CEILING GRID/PANEL LOCATIONS AND ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO FRAMING.

KEYED NOTES

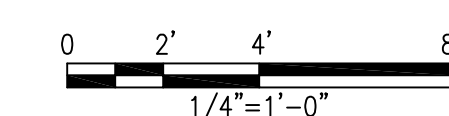
- CONTRACTOR SHALL INSTALL RECESSED CAN LIGHT FIXTURES IN 1 1/2" CEMENT UNDERLAYMENT SLAB BETWEEN 1ST AND 2ND FLOOR.
- FOR EXTERIOR LIGHTING FIXTURES ELEVATION HEIGHT REFER TO SHEET A4.00.



FIRST FLOOR LIGHTING PLAN

SCALE: 1/4" = 1'-0"

1
E4.0



ISSUE LIST

NO.	DESCRIPTION	DATE
1	BID ISSUE	03/27/2024
2	BID ADDENDUM 2	04/18/2024

PROJECT NO.: 0070800.01
PROJECT MGR.: M. AZEEM
DRAWN BY: R. PINLAC
CHECKED BY: J. NORTON

SECOND FLOOR LIGHTING FIXTURE SCHEDULE

ID	DESCRIPTION	QTY	VOLTAGE	VA	MOUNTING	LUMENS	LED COLOR TEMP	MANUFACTURER/CAT. NO.	NOTES
W1	WALL MOUNTED - LED VANITY FIXTURE	2	120-277 VAC	39	SURFACE/WALL	2400	3000K	LINEA LIGHTING/LL-SC1042/LL-SC1043/LL-SC1044	
W2	WALL MOUNTED EXTERNAL LED FIXTURE	1	120-277 VAC	27	SURFACE/WALL	2400	3000K	AFX DEXTER LED OUTDOOR SCONCE/DEXTW SERIES	-
L1	4' LED LINEAR FIXTURE	9	120-277 VAC	-	SURFACE/WALL	4000K		LITHONIA FMLWL 48 480	
T1	2'X4' LED RECESSED DIRECT/INDIRECT	2	120-277 VAC	50	SURFACE	5705	3500K	CORONET /TDCW LED-2X4-LTGI-COLOR-90CRI	
P1	PENDANT LIGHT	2	120-277 VAC	39	PENDANT	550	4000K	VISUAL COMFORT & CO 700TDWDS LED 90 CRI 3000K 120V	
R1	6" LED RECESSED DOWNLIGHT	6	120-277 VAC	32	SURFACE	2000	2700K	NORA / NHMIC-685-LE4* / NRM-611L-85-35-HZW	
EX1	LED EXIT SIGN	2	120-277 VAC	5	CEILING	-	LED	EXITRONIX S900 SERIES (PART NO. TBD)	
EX2	LED EXIT EGRESS SIGN	-	120-277 VAC	-	CEILING	410	4000K	DUAL LITE LED EXIT EGRESS SIGN (PART NO.)	EV EMERGENCY LIGHT, MOUNTING TYPE: WALL OR CEILING MOUNT, COLOR: WHITE, NUMBER OF LAMPS: 2, BATTERY TYPE: NICKEL METAL HYDRIDE (NIMH), BATTERY RUNTIME: 90 MIN, VOLTAGE RATING: 120/277 VAC, ENVIRONMENTAL CONDITIONS: DRY LOCATION
OS2	OCCUPANCY SENSORS	AS REQ'D	120 VAC	-	SURFACE/WALL	-	-	SENSORSWITCH / AS REQ'D	LIGHTING CONTROL, SEE DRAWING NOTES
C1	CANOPY LIGHT	1	120 VAC	94	SURFACE/UB	5000/7500/10,000	3K/4K/5K	LITHONIA LED ALO SWW2 UVOLT PE PIR DOB M2 (Dark Bronze)	3 POWER LEVELS, OCCUPANCY SENSOR, SWITCHABLE CCT
L2	5' LINEAR FIXTURE	16	120 VAC	49	PENDANT	4800	4000K	ECOSENCE OXYGEN 3.1	DIST. SEATAC LIGHTING AND CONTROLS
T2	4' TRACK LIGHT PACK	1	120 VAC	38	SURFACE	800LM/HEAD	2700K	NORA LIGHTING NTL-850	

LEGEND

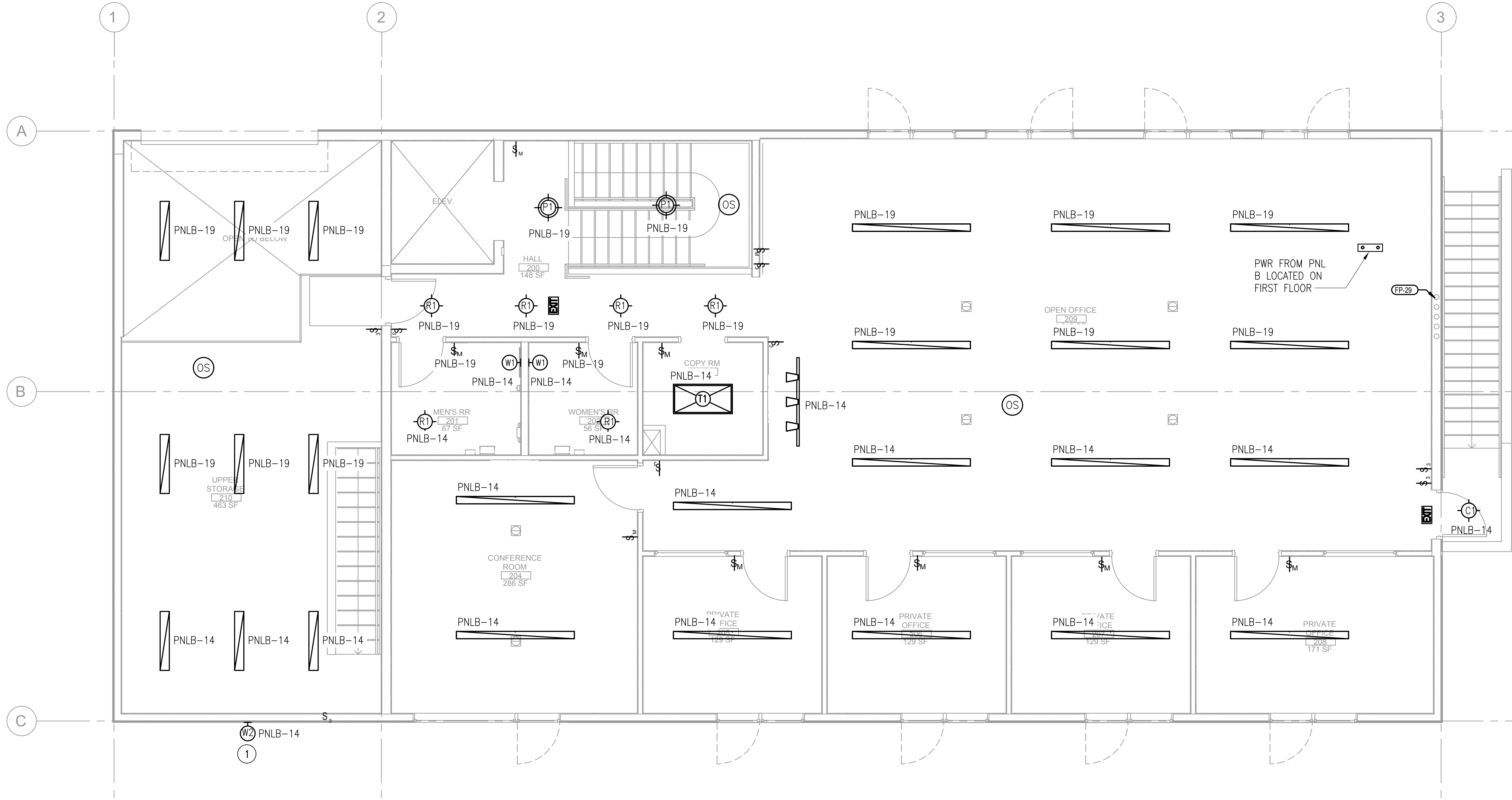
REFER TO SHEET E1.0 FOR PROJECT SYMBOLS AND NOTES.

GENERAL NOTES

1. ALL CONDUIT ROUTING IS DIAGRAMMATIC. ELECTRICAL CONTRACTOR SHALL DETERMINE THE BEST ROUTING PATH AND CIRCUIT COMBINATIONS BASED ON FIELD CONDITIONS AND ELECTRICAL CODES.
2. ALL NEW FEEDER AND BRANCH CIRCUIT CONDUCTORS TO BE TYPE THHN COPPER UNLESS OTHERWISE NOTED.
3. ALL BRANCH CIRCUIT CONDUCTORS TO BE SIZED #12 AWG UNLESS OTHERWISE NOTED ON THE PLANS.
4. INSTALL ALL STAIRWELL MOTION SENSORS FACING DIRECTION OF STAIRS.
5. PAINT ALL CONDUIT AND DEVICE BOXES TO MATCH WALL AND CEILING COLORS.
6. TOTAL CONNECTED LIGHTING LOADS (TOTAL FIXTURES CONNECTED TO A SINGLE CIRCUIT) SHALL NOT BE MORE THAN 16A FOR 20A CIRCUITS OR 12A FOR 15A CIRCUITS. SEE SHEET E5.0 FOR PANELBOARD SCHEDULES CIRCUIT ASSIGNMENTS.
7. ALL EXTERIOR LIGHTS ARE EQUIPPED WITH PHOTOCELL FOR COMING ON AT DUSK AND GOING OFF AT DAWN. INSTALL LIGHT SWITCH DIGITAL TIMERS CONTROLLING OUTSIDE LIGHTS TO TURN THE LIGHTS OFF AT 11:00 PM UNTIL 6:00 AM.
8. ALL LIGHTING AND CONTROLS INSTALLED SHALL BE FUNCTIONALLY TESTED AND A WRITTEN REPORT INCLUDING THE RESULTS BE PROVIDED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL.
9. JUNCTION BOXES ARE NOT SHOWN. CONTRACTOR SHALL USE AS NEEDED IN ACCORDANCE WITH NEC 358.26.
10. MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND COVERED FINISHED WITH ONE COVER PLATE U.N.O.
11. WASHINGTON STATE NON-RESIDENTIAL ENERGY CODE INTERIOR LIGHTING SUMMARY ATTACHED SEPARATELY.
11. NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, SPRINKLERS, HVAC, AND/OR EXISTING CONDUIT, PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN ARCHITECTS PROPOSED CEILING GRID/PANEL LOCATIONS AND ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO FRAMING.

KEYED NOTES

- 1 FOR EXTERIOR LIGHTING FIXTURES ELEVATION HEIGHT REFER TO SHEET A4.00.



SECOND FLOOR LIGHTING PLAN 1
SCALE: 1/4" = 1'-0" E4.1

BID ADDENDUM 1



TULALIP TRIBES - UTILITY BUILDING
 3015 MISSION BEACH ROAD
 TULALIP, WA 98271

ISSUE LIST

NO.	DATE	DESCRIPTION
1	03/27/2024	BID ISSUE
2	04/18/2024	BID ADDENDUM 2

PROJECT NO.: 0070800.01
 PROJECT MGR.: M. AZEEM
 DRAWN BY: R. PINLAC
 CHECKED BY: J. NORTON

**ELECTRICAL
SECOND FLOOR
LIGHTING PLAN**

E4.1

